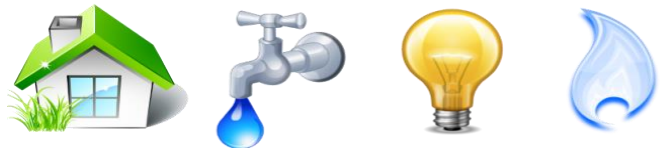


# Utility Allowances

August 2024

## HOUSING AUTHORITY OF THE CITY OF FREEPORT

*Freeport, Illinois*



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*UPDATE REPORT*

**PUBLIC HOUSING**

**UTILITY ALLOWANCE SURVEY AND STUDY**

The **Nelrod** Company®

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August 19, 2024

Rachel Greenwood, Interim Executive Director & Property Operations Manager  
Housing Authority of the City of Freeport  
1052 West Galena Avenue Suite A  
Freeport, IL 61032

**Re: Public Housing Utility Allowances Update Report - 2024**

Dear Ms. Greenwood:

ResidentLife Utility Allowances® is pleased to enclose the Public Housing Utility Allowances Update Report – August 2024. Please see the Survey and Study Results section of the study analysis for details of changes. It is recommended that a new consumption study be conducted at the 2025 annual update. The last adjustment to consumptions was in 2020. The age and or possible energy improvements may affect the average consumptions used.

ResidentLife Utility Allowances is putting our seal of compliance on the work we perform for your agency certifying that we have developed your Utility Allowances in compliance with HUD Regulations and guidelines. **We recommend that you post your adopted utility allowance schedule(s) on your webpage. We have made this process easy for you by providing, by email, an electronic version of your currently updated Utility Allowances in a pdf format that is ready to upload directly to your website.** This format displays our Seal of Certified Compliance assuring residents, Agency staff, HUD representatives, or other interested parties, that an approved method was used to efficiently and accurately develop your utility allowances and that the utility allowances are current.

As a reminder, HUD regulations (24CFR965-507(b)) state that, "adjustments to resident payments as a result of such changes" (adjustments made due to a result of rate changes of 10% or more) agencies do not have to comply with the sixty (60) day notice (and comment period) requirement of §965.502(c)." A 30-day notice will suffice.

Please note that notice of the availability of relief from surcharges or payment of utility supplier billings in excess of the allowances for resident-purchased utilities should be included in each notice to residents given in accordance with §965.502(c) and in the information given to new residents upon admission.

Please carefully review this report for any identifiable problems, changes, corrections, and/or special needs and let me know if you have any changes or questions as soon as possible. If no changes are requested this report will serve as a final report as well. **Please see the attached Closure Acceptance Statement, sign and return as soon as possible.** You can contact me at (817) 922-9000 ext 101 or [cynthia@nelrod.com](mailto:cynthia@nelrod.com). It is a pleasure working with your agency.

Sincerely,

*Cynthia Ramirez*

Cynthia Ramirez  
ResidentLife Utility Allowances Specialist

Enclosure

Disclaimer: ResidentLife Utility Allowances® will make any necessary corrections to work previously performed prior to submission of final report. It is important to note that many local communities have different rate structures, weather patterns, types of charges, etc. ResidentLife Utility Allowances® has made every effort to be as accurate as possible, but will not be held responsible for changes involving different methodologies, rate structures, regulatory changes, omission and/or misinformation of cost calculation data from utility providers, selection of most advantageous cost calculation methodology in areas with multiple costing methods, and inaccurate allowances resulting from lack of information or data not provided by the agency.

3301 West Freeway  
Fort Worth, TX 76107



Phone: 817-922-9000  
Fax: 817-922-9100

Email: ResidentLife@nelrod.com – Website: www.nelrod.com

## Closure Acceptance Statement

**Re: Public Housing Utility Allowances Update Report - 2024**

Upon signing this Closure Statement I, \_\_\_\_\_, on behalf of the **Housing Authority of the City of Freeport, IL** acknowledge receipt of the survey study report.

I, or a member of our agency staff, have reviewed this report and have requested edits, changes or additions if needed. Our agency now accepts this survey study report as final. This does not mean that we will adopt these results as our Agency’s actual allowances.

Signed

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Title

\_\_\_\_\_  
Print Name

\_\_\_\_\_  
Date

**Please sign and return within 30 days  
fax to: (817) 922-9100 or email to residentlife@nelrod.com**

**Job #2534-RU-005**

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# **OBJECTIVES AND METHODOLOGY**

# OBJECTIVES AND METHODOLOGY

## PUBLIC HOUSING ANNUAL UPDATE 2024

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*This study was conducted in compliance with the Public Housing Utility Allowance HUD Regulations 24CFR 965, Subpart E – Resident Allowances for Utilities, and HUD’s Utility Allowance Guidebook.*

### **Utility Rate Comparison**

Prior to beginning this update study for the **Housing Authority of the City of Freeport, IL**, as required by HUD regulations 24 CFR 965.507(b), a comparison (annual review) was made of the utility rates and charges (**dated: May 2023**) utilized in the development of the currently adopted utility allowances and the current utility rates and charges (**dated: August 2024**). This comparison indicated that ComEd’s electric rates decreased 53% for summer, 54% for winter, the monthly charges increased 1%, and franchise cost percentages decreased 1%. Nicor Gas’ natural gas rates increased 17%, monthly charges decreased 17%, and taxes remained the same. (See “Comparison of Previous and Current Utility Rates” in Support Documentation section of this report.) Since the utility provider’s **rates** have changed more than 10%, the utility allowances will be adjusted. This does not mean that **utility allowances** will change by the actual percentage values listed above.

### **Objective**

The objective of this survey and study is to update utility allowances with current utility provider’s rates and charges for electric and natural gas for the **Housing Authority of the City of Freeport, IL**. The Agency has 178 dwelling units at 1 development where residents pay both of these utilities. Additionally, all units have energy efficient heaters. These allowances are based upon a reasonable consumption, from a previous engineering method study of an energy conservative family of modest circumstances and to provide for the basic essentials needed for a living environment that is safe, sanitary and healthful.

## ***Methodology***

The following steps were taken by a utility allowance specialist to accomplish the above objective.

### ***1. Obtaining Current Utility Rates and Charges***

The following information was obtained by a rate specialist and input in the Utility Providers Residential Rates and Charges document:

- a. Documentation on current residential **electric** summer and winter rates and charges from **Commonwealth Edison (ComEd)** through their internet website and telephone inquiries.
- b. Documentation on current residential **natural gas** rates and charges from **Nicor Gas** through their internet website and telephone inquiries.

Residents do not pay for water, sewer, or trash collection utilities/services.

### ***2. Comparison of Utility Rates***

A rate specialist created charts comparing the previously applied electric and natural gas rates and charges (May 2023) for each provider to the current utility rates and charges (August 2024). These charts calculate a percentage difference in utility rates.

Then the rate specialist analyzed the rate comparisons and emailed the draft charts to the Agency with a recommendation to adjust current utility allowances due to a greater than 10% change in utility rates and charges (HUD regulations 24 CFR 965.507(b)).

### ***3. Data Gathering***

#### ***a. Currently Adopted Utility Allowances***

A copy of the currently adopted Utility Allowances was requested and received from the Agency.

#### ***b. Monthly Utility Consumption Averages***

In a previous study models of the Agency's Public Housing units were created by qualified licensed professionals, and consumption averages were obtained using an engineering method. The consumption averages that were affected



by weather conditions were climatically adjusted with a 30-year Heating Degree Day factor (see explanation of factor below).

Since the average base consumptions developed in a previous study will not be adjusted, we gathered and utilized a copy of these monthly consumptions for back-up documentation to this study.

*Note: HUD regulations for Public Housing (24 CFR 965.505 (e)) do not allow for air conditioning in the utility allowances, therefore air conditioning consumptions were eliminated from the consumption totals.*

c. *Climatic Data*

In a previous study climatic data was gathered for the City of **Rockford, Illinois** (Annual Summary report 2019) from the National Oceanographic and Atmospheric Administration National Climatic Data Center (NCDC). Rockford is the nearest location with recorded data. This data is used to develop a 30-year Heating Degree Day (HDD) factor that is then applied to the average winter heating consumption totals to make additional adjustments and normalize the consumptions.

The 30-year Heating Degree Day (HDD) factor did not change and is **0.97**.

Since this factor is still the same the consumptions were not adjusted.

#### 4. *Utility Allowance Adjustments*

The following process was conducted by a utility allowance specialist:

- a. Updated the **electric** Cost of Consumption calculation charts, from the previous study, for both developments and applicable bedroom size with **ComEd's** current utility rates and charges. A weighted average was then calculated and applied to the utility allowance totals.
- b. Updated the **natural gas** Cost of Consumption calculation charts, from the previous study, for both developments and applicable bedroom size with **Nicor Gas'** current utility rates and charges. A weighted average was then calculated and applied to the utility allowance totals.

Residents do not pay for water, sewer, or trash collection utilities/services.

The updated utility allowances were entered into Chart 1 – Proposed Monthly Utility Allowances, found in the Survey and Study Results section of this report.

## 5. *Utility Allowance Schedule*

Utility Allowance Schedules are not subject to approval by HUD before becoming effective, but will be reviewed in the course of audits or reviews of Agency operations (24 CFR 965.502(d)).

## 6. *Comparison of Current and Proposed Utility Allowances*

A comparison of the Agency's currently adopted utility allowances and the proposed allowances from this study is provided. (See Chart 2, found in the Survey and Study Results section of this report, for the comparison.)

## 7. *Notification, Display and Comment Period*

Per HUD regulations (24 CFR 965.507(c)), "The PHA shall give notice to all residents of proposed allowances, scheduled surcharges, and revisions thereof."

## 8. *Support Documentation*

Per HUD regulations (24 CFR 965.502(b)) the Agency must maintain a record that documents the basis on which allowances and scheduled surcharges, and revisions thereof, are established and revised. Such record shall be available for inspection by residents (24 CFR 965.502(c)).

This report contains a copy of all such supporting documentation.

## 9. *Annual Update*

HUD regulations (24 CFR 965.207) state that housing authorities shall **review allowances at least annually** and revise allowances established if there has been a **10% increase or decrease** in utility rate and charges. If an annual adjustment is not made to the current utility allowances, the agency must monitor utility rates and charges to see if a rate has changed, by itself or together with prior rate change, not adjusted for, resulting in a change of 10% or more since the last utility allowance update. This interim adjustment helps Agencies avoid costly back charges and rent adjustments. ResidentLife Utility Allowances<sup>®</sup> provides a quarterly Rate Monitoring Service.

## 10. *Individual Relief*

We have included Individual Relief Medical Equipment Allowances in the Survey and Study Results section of this report.

Please note that notice of the availability of relief from surcharges or payment of utility provider billings in excess of the allowances for resident-purchased utilities should be included in each notice to residents given in accordance with §965.502(c) and in the information given to new residents upon admission. Agencies should have written procedures regarding Individual Relief in their Admission and Continued Occupancy (ACOP) policies.

## **SURVEY AND STUDY RESULTS**

# SURVEY AND STUDY RESULTS

## PUBLIC HOUSING ANNUAL UPDATE 2024

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The HUD Regulation (24 CFR 965.507(a) & (b)) requirement of a comparison of the utility providers' rates and charges was conducted and indicated **a greater than 10% change in utility rates and charges** since the 2023 study was conducted. (Refer to page 2, Utility Rate Comparison, and/or Comparison of Previous and Current Utility Rates in the Support Documentation section of this report.) Therefore, the **Housing Authority of the City of Freeport, IL** is updating utility allowances for electricity and natural gas for their Public Housing (Conventional) developments where residents pay both of these utilities. Additionally, both developments have energy efficient heaters. The proposed utility allowances are shown in Chart 1 on the following page.

*This study was conducted in compliance with the Public Housing Utility Allowance HUD Regulations 24CFR 965, Subpart E – Resident Allowances for Utilities.*

### ***Comparison of Utility Allowances***

A comparison of the Agency's currently adopted Public Housing monthly utility allowances (effective date: 2023) and the proposed monthly utility allowances from this study are shown in Chart 2. The chart is broken down by bedroom size.

### ***Results of Utility Allowance Comparison***

Chart 2 shows decreases in proposed utility allowances for the Westview development and for all bedroom sizes. Decreases range from \$24.00 to \$47.00 and are due to a reduction in Commonwealth Edison's electric rates.

### ***2025 Annual Update Recommendation***

It is recommended that a new consumption study be conducted at the 2025 annual update. The last adjustment to consumptions was in 2020. Climatic changes and/or possible energy improvements may affect the average consumptions used.



**HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL**  
**PUBLIC HOUSING**

**PROPOSED MONTHLY UTILITY ALLOWANCES**  
**Chart 1**

**UPDATE 2024**

**Building Type: Row House/Townhouse**

<b>Westview (EE Equip: H)</b>	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
Electricity (L&A)	\$35.00	\$35.00	\$40.00	\$45.00	\$51.00	\$56.00
Natural Gas (H,WH,C)	\$43.00	\$43.00	\$49.00	\$54.00	\$58.00	\$61.00
<b>Totals</b>	<b>\$78.00</b>	<b>\$78.00</b>	<b>\$89.00</b>	<b>\$99.00</b>	<b>\$109.00</b>	<b>\$117.00</b>

A monthly average cost of the summer and winter adjustments were used for the electric and natural gas costs.

L&A= Lights & Appliances

H= Space Heating

WH= Water Heating

C= Cooking

**Note: Public Housing utility allowances are calculated similar to the method used by each utility provider. These allowances are not calculated by end use (like Section 8 HCV), but by total usage for each utility type. Utility providers' monthly charges are included in the calculations.**

**HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL**  
**PUBLIC HOUSING**

**COMPARISON OF CURRENT AND PROPOSED UTILITY ALLOWANCES**  
**Chart 2**

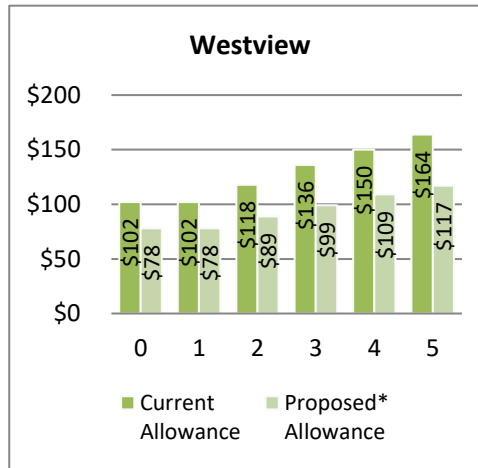
**UPDATE 2024**

Development	Bedroom Size	Current Allowance	Proposed* Allowance	Difference**
<b>Westview</b>	0	\$102.00	<b>\$78.00</b>	<b>-\$24.00</b>
	1	\$102.00	<b>\$78.00</b>	<b>-\$24.00</b>
	2	\$118.00	<b>\$89.00</b>	<b>-\$29.00</b>
	3	\$136.00	<b>\$99.00</b>	<b>-\$37.00</b>
	4	\$150.00	<b>\$109.00</b>	<b>-\$41.00</b>
	5	\$164.00	<b>\$117.00</b>	<b>-\$47.00</b>

Proposed allowances include the average for electric and natural gas summer and winter months.

\*Proposed allowances were rounded to the nearest dollar.

\*\*After rounding.



**Individual Relief**  
**Medical Equipment Allowances**  
**Electric Provider: ComED (wtd avg)**

Item	Hours per Day	Wattage	Monthly kWh	Energy Charge	Utility Allowance
Oxygen Concentrator	18	400	223	0.118928	\$27.00
Nebulizer	2	75	5	0.118928	\$1.00
Electric Hospital Bed	0.2	200	1	0.118928	\$1.00
Alternating Pressure Pad	24	70	52	0.118928	\$6.00
Low Air-Loss Mattress	24	120	89	0.118928	\$11.00
Power Wheelchair/Scooter	3	360	33	0.118928	\$4.00
Feeding Tube Pump	24	120	89	0.118928	\$11.00
CPAP Machine	10	30	9	0.118928	\$1.00
Leg Compression Pump	24	30	22	0.118928	\$3.00
Dialysis Machine/Equipment	2	710	44	0.118928	\$5.00

**Oxygen Concentrator**

Use per day varies, assume 12-14 hours a day.  
The 5-Liter model uses 400 W, the 3-Liter model uses 320 W.

**Nebulizer**

A medicine delivery system used mostly for pediatric care.  
Used 4-6 times a day for 20 minutes at a time at 75W.

**Semi/Fully Electric Hospital Bed**

Use depends on adjustments. 200 W.

**Alternating Pressure Pad**

An air-filled mattress overlay.  
Used 24 hours a day for someone who is bed-ridden.

**Low Air-Loss Mattress**

Takes the place of mattress - air -filled pressurized mattress.  
Cycles air around every 15-20 minutes.

**Power Wheelchairs and Scooters**

Need to be charged approximately 8 hours every 3 days.  
Batteries are 120 V, 3 Amp, 360 W.

**Feeding Tube Pump (Continuous Feed)**

A pump delivers a constant amount of formula throughout the day or night.

**CPAP Machine**

Used for Sleep Apnea. Machines run only at night for people who have a tendency to stop breathing at night. At maximum pressure use is 40 Watts. On average - 30 Watts.

**Leg Compression Pump**

Provides intensive compression therapy. Use varies, generally from 8-24 hours daily.

**Dialysis Machine/Equipment (Small/Portable)**

Filters a patient's blood to remove excess water and waste products. Used 2 hours daily.



## **MONTHLY CONSUMPTION TOTALS & BUILDING TYPE DESCRIPTIONS**

# HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

## PUBLIC HOUSING

### MONTHLY UTILITY CONSUMPTION TOTALS

Consumptions developed in a previous study using an engineering method - 2020  
(Heating consumptions climatically adjusted with a 30-year HDD factor - 2019)

#### Building Type: Row House/Townhouse

Westview (EE Equip: H)	0BR	1BR	2BR	3BR	4BR	5BR
Electricity (kWh) (L&A)	168	168	209	256	300	346
Natural Gas (ccfs) S(WH,C)	16	16	20	22	24	26
Natural Gas (ccfs) W(H,WH,C)	47	47	58	70	78	83

L&A= Lights & Appliances

H= Space Heating

WH= Water Heating

C= Cooking

S= Summer

W= Winter

Summer: June - September (4), Winter: October - May (8)

Seasons based on ComEd's electric summer & winter months.

## Building Type (Structure) Descriptions

### 1. **Apartment/Walk-Up/Condominium/Garden Apartment/Low-Rise/Flat (Apt)**

- a. Building with a group of 3 individual **units** with common walls; attached to other units; separate entrances, and may have common staircases.
- b. Each **building** may have an end unit, inside unit, top unit, bottom unit, etc. **Building** will have 2 or more stories.
- c. Usually, but not always, there will be units on both sides of building.

### 2. **High Rise Apartment (H-R)**

A multi-unit building; 5 or more stories; sharing one or more common entrances. May have an elevator.

### 3. **Row House/Townhouse/Triplex/Fourplex/Multiplex (RH)**

- a. An individual unit attached to other individual units; 2 or more common walls; separate ground level entrances; 1 or 2 story **units**.
- b. Each building will have end units and inside units.
- c. Fourplex units usually share 2 common walls; can be square-shaped or L-shaped.
- d. Triplex building can be V-shaped.

### 4. **Semi-Detached/Duplex (S-D or SD)**

Building with 2 individual housing units; with separate entrances; one common wall; 1 or 2 story units.

### 5. **Detached House (DH)**

A detached building intended to house one family; sits on its own piece of land; not attached to another dwelling.

# **UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS**

# HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

## PUBLIC HOUSING

### UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS

#### ELECTRICITY - ComEd (Commonwealth Edison)

UPDATE 2024

#### Westview

#### Building Type: Row House/Townhouse

Monthly Average Unit Consumption kWh for all bedroom types - <b>Summer</b>	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
	168	168	209	256	300	346
Total Monthly Charges Per Month \$14.16	\$14.16	\$14.16	\$14.16	\$14.16	\$14.16	\$14.16
Total Energy Charges Per KWH 0.120781	\$20.29	\$20.29	\$25.24	\$30.92	\$36.23	\$41.79
<i>Subtotal</i>	\$34.45	\$34.45	\$39.40	\$45.08	\$50.39	\$55.95
Franchise Cost Percentage % of Total 1.791%	\$0.62	\$0.62	\$0.71	\$0.81	\$0.90	\$1.00
<b>Total Monthly Cost - Summer</b>	<b>\$35.07</b>	<b>\$35.07</b>	<b>\$40.11</b>	<b>\$45.89</b>	<b>\$51.29</b>	<b>\$56.95</b>

Monthly Average Unit Consumption kWh for all bedroom types - <b>Winter</b>	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
	168	168	209	256	300	346
Total Monthly Charges Per Month \$14.16	\$14.16	\$14.16	\$14.16	\$14.16	\$14.16	\$14.16
Total Energy Charges Per KWH 0.118001	\$19.82	\$19.82	\$24.66	\$30.21	\$35.40	\$40.83
<i>Subtotal</i>	\$33.98	\$33.98	\$38.82	\$44.37	\$49.56	\$54.99
Franchise Cost Percentage % of Total 1.791%	\$0.61	\$0.61	\$0.70	\$0.79	\$0.89	\$0.98
<b>Total Monthly Cost - Winter</b>	<b>\$34.59</b>	<b>\$34.59</b>	<b>\$39.52</b>	<b>\$45.16</b>	<b>\$50.45</b>	<b>\$55.97</b>

Averaging Months	<b>0BR</b>	<b>1BR</b>	<b>2BR</b>	<b>3BR</b>	<b>4BR</b>	<b>5BR</b>
<b>Summer</b> Annual Avg 4	\$140.28	\$140.28	\$160.44	\$183.56	\$205.16	\$227.80
<b>Winter</b> Annual Avg 8	\$276.72	\$276.72	\$316.16	\$361.28	\$403.60	\$447.76
<b>Total Monthly Cost (Based on Annual Average)</b>	<b>\$34.75</b>	<b>\$34.75</b>	<b>\$39.72</b>	<b>\$45.40</b>	<b>\$50.73</b>	<b>\$56.30</b>

Summer: June - September (4), Winter: October - May (8)  
 Seasons based on ComEd's electric summer & winter months.

# HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

## PUBLIC HOUSING

### UTILITY ALLOWANCE COST OF CONSUMPTION CALCULATIONS

#### NATURAL GAS - Nicor Gas

UPDATE 2024

#### Westview

#### Building Type: Row House/Townhouse

Monthly Average Unit Consumption ccf for all bedroom types - <b>Summer</b>	0BR	1BR	2BR	3BR	4BR	5BR
	16	16	20	22	24	26
Total Monthly Charges Per Month \$20.31	\$20.31	\$20.31	\$20.31	\$20.31	\$20.31	\$20.31
Total Energy Charges Per CCF 0.629466	\$10.07	\$10.07	\$12.59	\$13.85	\$15.11	\$16.37
<i>Subtotal</i>	\$30.38	\$30.38	\$32.90	\$34.16	\$35.42	\$36.68
Public Utility Fund % of Total 0.1%	\$0.03	\$0.03	\$0.03	\$0.03	\$0.04	\$0.04
<b>Total Monthly Cost - Summer</b>	<b>\$30.41</b>	<b>\$30.41</b>	<b>\$32.93</b>	<b>\$34.19</b>	<b>\$35.46</b>	<b>\$36.72</b>

Monthly Average Unit Consumption ccf for all bedroom types - <b>Winter</b>	0BR	1BR	2BR	3BR	4BR	5BR
	47	47	58	70	78	83
Total Monthly Charges Per Month \$20.31	\$20.31	\$20.31	\$20.31	\$20.31	\$20.31	\$20.31
Total Energy Charges Per CCF 0.629466	\$29.58	\$29.58	\$36.51	\$44.06	\$49.10	\$52.25
<i>Subtotal</i>	\$49.89	\$49.89	\$56.82	\$64.37	\$69.41	\$72.56
Public Utility Fund % of Total 0.1%	\$0.05	\$0.05	\$0.06	\$0.06	\$0.07	\$0.07
<b>Total Monthly Cost - Winter</b>	<b>\$49.94</b>	<b>\$49.94</b>	<b>\$56.88</b>	<b>\$64.43</b>	<b>\$69.48</b>	<b>\$72.63</b>

Averaging Months	0BR	1BR	2BR	3BR	4BR	5BR
<b>Summer</b> Annual Avg 4	\$121.64	\$121.64	\$131.72	\$136.76	\$141.84	\$146.88
<b>Winter</b> Annual Avg 8	\$399.52	\$399.52	\$455.04	\$515.44	\$555.84	\$581.04
<b>Total Monthly Cost (Based on Annual Average)</b>	<b>\$43.43</b>	<b>\$43.43</b>	<b>\$48.90</b>	<b>\$54.35</b>	<b>\$58.14</b>	<b>\$60.66</b>

Summer: June - September (4), Winter: October - May (8)  
 Seasons based on ComEd's electric summer & winter months.

## **SUPPORT DOCUMENTATION**

## **UTILITY PROVIDER RATES AND CHARGES**



# HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

## PUBLIC HOUSING

### Utility Providers Residential Rates and Charges As of August 2024

#### ELECTRICITY

UPDATE 2024

Source: ComEd (Commonwealth Edison)

800-334-7661

www.comed.com\*

<b>Summer (June - September) (4)</b>		Rate RDS
<b>Winter (October - May) (8)</b>		Rate RDS
Customer Charge (CC)*	Per Month	\$10.45
Standard Meter Service Charge (SMSC)*	Per Month	\$3.18
Renewable Energy Resources Charge	Per Month	\$0.05
Base Energy Assistance Charge*	Per Month	\$0.48
<b>Total Monthly Charges</b>	Per Month	<b>\$14.16</b>
<b>Tiers</b>		<b>All</b>
Distribution Facilities Charge (DFC)*	Per KWH	0.041383
Illinois Electric Distribution Tax Chg (IEDT)*	Per KWH	0.001318
Purchased Electricity Charge <i>(Summer)</i>	Per KWH	0.05372
Purchased Electricity Charge <i>(Winter)</i>	Per KWH	0.05094
Purchased Electricity Adjustment (PEA)	Per KWH	-0.00325
PJM Services Charge	Per KWH	0.0153
Environmental Cost Recovery (ECR)	Per KWH	0.00033
Energy Efficiency Adjustment (EE)	Per KWH	0.00366
Renewable Energy Adjustments	Per KWH	0.00502
State Utility Tax (Excise)	Per KWH	0.0033
<b>Total Energy Charges <i>(Summer)</i></b>	Per KWH	<b>0.120781</b>
<b>Total Energy Charges <i>(Winter)</i></b>	Per KWH	<b>0.118001</b>
<b>Franchise Cost Percentage</b>	% of Total	<b>1.791%</b>
<b>Year Round Weighted Average</b>		Rate RDS
<b>Tiers</b>		<b>All</b>
<b>Total Energy Charges (wtd avg)</b>	Per KWH	<b>0.118928</b>

\*Includes IDUFR 1.0059

Continue...

# HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

## PUBLIC HOUSING

### NATURAL GAS

Source: Nicor Gas

888-642-6748

www.nicor.com\*

Year Round	(Rate 1 Residential Service)	
Customer Charge	Per Month	\$19.48
Uncollectible Expense Adjustment (Rider 26)	Per Month	-\$0.07
QIP Charge (1.01%) (Rider 32)*	Per Month	\$0.20
Renewable Energy Resources Chg (Rider 1)	Per Month	\$0.05
Energy Assistance Charge (Rider 1)	Per Month	\$0.48
Franchise Cost Adjustment (Rider 2)	Per Month	\$0.17
<b>Total Monthly Charges</b>	Per Month	<b>\$20.31</b>
<b>Tiers</b>		<b>All</b>
Distribution Charge	Per Therm	0.2134
Storage Service Cost Recovery (Rider 5)	Per Therm	0.0011
QIP Charge (1.01%) (Rider 32)*	Per Therm	0.002166
Gas Supply Charge (Rider 6)	Per Therm	0.36
Environmental Cost Recovery (Rider 12)	Per Therm	0.0191
Energy Efficiency Plan Cost Recvry (Rider 30)	Per Therm	0.0097
State Utility Tax (Excise) (Rider 8)	Per Therm	0.024
<b>Total Energy Charges</b>	Per KWH	<b>0.629466</b>
<b>Public Utility Fund (Rider 8)</b>	% of Total	<b>0.1%</b>

\*Percent of Base Charges and Riders 5 & 26

# UTILITY PROVIDER DOCUMENTATION



## UTILITY PROVIDER LIST

**Housing Agency/Property:** Housing Authority of the City of Freeport, IL

**Please Specify ALL Applicable Resident-Paid Utility Types Below:**  
**E = Electric, NG = Natural Gas, BG = Bottled Gas/Propane, F = Fuel Oil, W = Water, S = Sewer, T = Trash**

**For Tenant-Paid Utilities Only**

**RESIDENT-PAID PUBLIC HOUSING**

**Number of Units:**

Utility Type	Utility Provider Name	Optional: Phone #	Optional: Website
E	ComEd	800-334-7661	
E	City of Freeport		Created By: Rane
NG	Nicor Gas	888-642-6748	Sourced By: Agency

Fax: 817-922-9100

Email: ResidentLife@nelrod.com

**INCREMENTAL UNCOLLECTIBLE COST FACTORS**

**Supplement to Rider UF (1)**

Incremental Distribution Uncollectible Cost Factors (IDUFs) (2)		
	IDUFs Applicable for the May 2024 Monthly Billing Period (5)	IDUFs Applicable Beginning with the June 2024 Monthly Billing Period And Extending Through the May 2025 Monthly Billing Period (5)
IDUF <sub>R</sub>	1.0105	1.0059
IDUF <sub>N</sub>	1.0027	1.0017
IDUF <sub>A</sub>	1.0015	1.0003
Incremental Supply Uncollectible Cost Factors (ISUFs)		
	ISUFs Applicable Beginning with the January 2024 Monthly Billing Period and Extending Through the May 2024 Monthly Billing Period (6)	ISUFs Applicable Beginning with the June 2024 Monthly Billing Period and Extending Through the May 2025 Monthly Billing Period (6)
ISUF <sub>R</sub> (3)	0.9891	1.0072
ISUF <sub>N</sub> (3)	0.9900	1.0052
ISUF <sub>A</sub> (3)	0.9336	1.0007
ISUF <sub>SYS</sub> (4)	0.9877	1.0065

NOTES:

- (1) This informational sheet is supplemental to Rider UF - Uncollectible Factors (Rider UF).
- (2) IDUFs are applied as shown in the Delivery Service Charges Informational Sheets (Informational Sheet No. 24 through Informational Sheet No. 31 and Informational Sheet No. 64 through Informational Sheet No. 64.18) and in accordance with the provisions of the Zero Standard Credit subsection of the Monthly Credit and Charge section of Rider ZSS - Zero Standard Service (Rider ZSS).
- (3) ISUFs are applied in accordance with the provisions of the Monthly Charges section of Rate BES - Basic Electric Service (Rate BES).
- (4) ISUF<sub>SYS</sub> is applied in accordance with the provisions of the Monthly Charges section of Rate BESH - Basic Electric Service Hourly Pricing (Rate BESH).
- (5) IDUFs incorporate a Distribution Balancing Factor (DBF) in accordance with the provisions in Rider UF.
- (6) ISUFs incorporate a Supply Balancing Factor (SBF) in accordance with the provisions in Rider UF.

**DELIVERY SERVICE CHARGES**

**Supplement to Rate DSPP (1)**

**RESIDENTIAL DELIVERY SERVICE CHARGES.**

	For Service Provided Beginning with the January 2022 Monthly Billing Period and Extending Through the December 2022 Monthly Billing Period (2) (5)	For Service Provided Beginning with the January 2023 Monthly Billing Period and Extending Through the December 2023 Monthly Billing Period (2) (6)
<b>Residential Single Family Without Electric Space Heat Delivery Class</b>		
Customer Charge (CC)	\$9.69 x IDUF <sub>R</sub>	\$10.39 x IDUF <sub>R</sub>
Standard Metering Service Charge (SMSC)	\$3.34 x IDUF <sub>R</sub>	\$3.16 x IDUF <sub>R</sub>
Distribution Facilities Charge (DFC) (\$/kWh)	\$0.03847 x IDUF <sub>R</sub>	\$0.04114 x IDUF <sub>R</sub>
Illinois Electricity Distribution Tax Charge (IEDT) (\$/kWh)	\$0.00124 x IDUF <sub>R</sub>	\$0.00131 x IDUF <sub>R</sub>
<b>Residential Multi Family Without Electric Space Heat Delivery Class</b>		
CC	\$7.04 x IDUF <sub>R</sub>	\$7.62 x IDUF <sub>R</sub>
SMSC	\$3.34 x IDUF <sub>R</sub>	\$3.16 x IDUF <sub>R</sub>
DFC (\$/kWh)	\$0.03088 x IDUF <sub>R</sub>	\$0.03279 x IDUF <sub>R</sub>
IEDT (\$/kWh)	\$0.00124 x IDUF <sub>R</sub>	\$0.00131 x IDUF <sub>R</sub>
<b>Residential Single Family With Electric Space Heat Delivery Class</b>		
CC	\$11.17 x IDUF <sub>R</sub>	\$11.87 x IDUF <sub>R</sub>
SMSC	\$3.34 x IDUF <sub>R</sub>	\$3.16 x IDUF <sub>R</sub>
DFC (\$/kWh)	\$0.01683 x IDUF <sub>R</sub>	\$0.01925 x IDUF <sub>R</sub>
IEDT (\$/kWh)	\$0.00124 x IDUF <sub>R</sub>	\$0.00131 x IDUF <sub>R</sub>
<b>Residential Multi Family With Electric Space Heat Delivery Class</b>		
CC	\$7.71 x IDUF <sub>R</sub>	\$8.26 x IDUF <sub>R</sub>
SMSC	\$3.34 x IDUF <sub>R</sub>	\$3.16 x IDUF <sub>R</sub>
DFC (\$/kWh)	\$0.01620 x IDUF <sub>R</sub>	\$0.01862 x IDUF <sub>R</sub>
IEDT (\$/kWh)	\$0.00124 x IDUF <sub>R</sub>	\$0.00131 x IDUF <sub>R</sub>

(Continued on Informational Sheet No. 25)

**RIDER RCA  
RETAIL CUSTOMER ASSESSMENTS**

**Applicable to Rate BES, Rate BESH, and Rate RDS**

**RENEWABLE ENERGY RESOURCES AND  
COAL TECHNOLOGY DEVELOPMENT ASSISTANCE CHARGE.**

Pursuant to the provisions of the Renewable Energy, Energy Efficiency, and Coal Resources Development Law of 1997, enacted on December 16, 1997, authorizing the assessment of charges for renewable energy resources and coal technology development assistance on retail customers' monthly bills for electric service, and as amended on August 20, 2021, the Company includes the following Renewable Energy Resources and Coal Technology Development Assistance Charge, as applicable, on each retail customer's monthly bill:

For a residential retail customer	\$0.05
For any other retail customer	
If such retail customer's highest demand during the previous calendar year was less than 10,000 kilowatts (kW)	\$0.50
If such retail customer's highest demand during the previous calendar year was at least 10,000 kW	\$37.50

The Renewable Energy Resources and Coal Technology Development Assistance Charge is assessed through December 31, 2025, in accordance with Illinois Public Act 102-0444.

\*

(Continued on Sheet No. 256.1)

Filed with the Illinois Commerce Commission on  
January 7, 2022. Issued pursuant to the  
Illinois Commerce Commission Order dated  
January 5, 2022, in Docket No. 21-0868.  
Asterisk (\*) indicates change.

Date Effective: January 8, 2022  
Issued by T. R. Donnelly, President and COO  
Post Office Box 805379  
Chicago, Illinois 60680-5379

**RIDER RCA  
RETAIL CUSTOMER ASSESSMENTS**

(Continued from Sheet No. 256)

\* **ENERGY ASSISTANCE CHARGE  
FOR THE SUPPLEMENTAL LOW-INCOME ENERGY ASSISTANCE FUND.**

Pursuant to the provisions of Section 13 of the Energy Assistance Act of 1989, as amended on November 30, 2021, authorizing the assessment of charges for the Supplemental Low-Income Energy Assistance Fund (305 ILCS 20/13) on retail customers' monthly bills for electric service, the Company includes the Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund, as applicable, on each retail customer's monthly bill determined in accordance with the following formulas:

For a residential retail customer	BEAC x 1
For any other retail customer	
If such retail customer's highest demand during the previous calendar year was less than 10,000 kW	BEAC x 10
If such retail customer's highest demand during the previous calendar year was at least 10,000 kW	BEAC x 375

Where BEAC is the Base Energy Assistance Charge as specified in 305 ILCS 20/13. The initial BEAC shall be \$0.48 per month. Subsequent BEACs shall increase by \$0.16 per month for any calendar year, provided that at least 80% of the previous State fiscal year's available Supplemental Low Income Energy Assistance Fund funding has been exhausted, not to exceed \$0.96 per month for any calendar year. The effective Energy Assistance Charges can be found in Informational Sheet No. 41.

Pursuant to the provisions of Section 8-105 of the Public Utilities Act (Act), in 2011 the Company must offer programs originally authorized pursuant to the provisions of Section 16-111.5A(e) of the Act for retail customers in need, including a percentage of income payment plan. The Company is reimbursed for costs it incurs in offering such programs from the Supplemental Low-Income Energy Assistance Fund pursuant to the provisions of Section 8-105 of the Act.

The Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund is assessed and updated on the Company's monthly billing period cycle through December 31, 2025, in accordance with Illinois Public Act 102-0673.

(Continued on Sheet No. 257)



**PURCHASED ELECTRICITY CHARGES**

**Supplement to Rate BES and Rider PE (1)**

Customer Group or Subgroup	Units	PECs Applicable for the June 2024 Monthly Billing Period (2) (3) (4) (6)	
		Summer PEC (5)	Nonsummer PEC
		Residential	¢/kWh
Watt-hour Non-Electric Space Heating	¢/kWh	5.413	5.133
Demand Non-Electric Space Heating	¢/kWh	5.512	5.173
Nonresidential Electric Space Heating	¢/kWh	4.734	4.943
Dusk to Dawn Lighting	¢/kWh	2.030	2.425
General Lighting	¢/kWh	4.695	4.918

Customer Group or Subgroup	Units	PECs Applicable Beginning with the July 2024 Monthly Billing Period and Extending Through the May 2025 Monthly Billing Period (2) (3) (4) (6) (7)	
		Summer PEC (5)	Nonsummer PEC
		Residential	¢/kWh
Watt-hour Non-Electric Space Heating	¢/kWh	5.415	5.135
Demand Non-Electric Space Heating	¢/kWh	5.514	5.175
Nonresidential Electric Space Heating	¢/kWh	4.737	4.945
Dusk to Dawn Lighting	¢/kWh	2.031	2.426
General Lighting	¢/kWh	4.697	4.920

NOTES:

- (1) This informational sheet is supplemental to Rate BES - Basic Electric Service (Rate BES) and Rider PE - Purchased Electricity (Rider PE).
- (2) PECs are designated on retail customer bills as the Electricity Supply Charge pursuant to Rate BES.
- (3) PECs include Supply Base Uncollectible Cost Factors (Supply BUFs) as listed in Informational Sheet No. 21.
- (4) PECs incorporate Incremental Supply Uncollectible Cost Factors (ISUFs) as listed in Informational Sheet No. 20, which include a Supply Balancing Factor (SBF) in accordance with the provisions of Rider UF - Uncollectible Factors (Rider UF).
- (5) The Summer PECs are applicable in the months of June, July, August, and September.
- (6) PECs incorporate the results of the Spring 2024 Procurement Event approved by the ICC on April 18, 2024, and the PJM Financial Transmission Rights (FTR) Auctions finalized April 30, 2024.
- (7) PECs incorporate the updated Net Load Price (NLP) for the ComEd Zone for the 2024/2025 delivery year following the Federal Energy Regulatory Commission's order in Docket No. ER23-729-002 dated May 6, 2024.

**Year 2024 Record of Hourly Purchased Electricity  
Adjustment Factors (HPEAs), Purchased Electricity  
Adjustment Factors (PEAs) and Residential Time of Use  
Purchased Electricity Adjustment Factors (RTOU PEAs)**

As provided for in Rate BESH – Basic Electric Service Hourly Pricing, Rider PE – Purchased Electricity and Rate RTOUPP – Residential Time of Use Pricing Pilot, HPEAs, PEAs and RTOU PEAs are determined and applied to kilowatt-hours (kWhs) provided in the applicable effective period for which ComEd procures full requirements electric supply or directly procures electric power and energy supply, as applicable.

<b>Effective Monthly Billing Period</b>	<b>Charge or (Credit) (cents/kWh)</b>		
	<b>PEA</b>	<b>HPEA</b>	<b>RTOU PEA</b>
January 2024	(0.144)	0.203	(0.742)
February 2024	0.207	0.473	(1.083)
March 2024	(0.275)	(0.344)	(1.195)
April 2024	(0.479)	0.262	(1.658)
May 2024	1.088	1.094	3.036
June 2024	(0.167)	(0.337)	(0.988)
July 2024	(0.325)	(0.614)	N/A

**PJM SERVICES CHARGES**

**Supplement to Rate BES and Rider PE (1)**

Customer Group or Subgroup	Units	PJM Services Charges (PSCs) Applicable for the January 2024 Monthly Billing Period and Extending Through the May 2024 Monthly Billing Period (2) (3) (4)
Residential	¢/kWh	1.470
Watt-hour Non-Electric Space Heating	¢/kWh	1.466
Demand Non-Electric Space Heating	¢/kWh	1.466
Nonresidential Electric Space Heating	¢/kWh	1.466
Dusk to Dawn Lighting	¢/kWh	1.382
General Lighting	¢/kWh	1.382

Customer Group or Subgroup	Units	PSCs Applicable Beginning with the June 2024 Monthly Billing Period and Extending Through the May 2025 Monthly Billing Period (2) (3) (4)
Residential	¢/kWh	1.530
Watt-hour Non-Electric Space Heating	¢/kWh	1.522
Demand Non-Electric Space Heating	¢/kWh	1.522
Nonresidential Electric Space Heating	¢/kWh	1.522
Dusk to Dawn Lighting	¢/kWh	1.514
General Lighting	¢/kWh	1.514

**NOTES:**

- (1) This informational sheet is supplemental to Rate BES - Basic Electric Service (Rate BES) and Rider PE - Purchased Electricity (Rider PE).
- (2) PSCs are designated on retail customer bills as the Transmission Services Charge pursuant to Rate BES.
- (3) PSCs include Supply Base Uncollectible Cost Factors (SBUFs) listed in Informational Sheet No. 21.
- (4) PSCs incorporate Incremental Supply Uncollectible Cost Factors (ISUFs) listed in Informational Sheet No. 20.

Filed with the Illinois Commerce Commission on  
May 17, 2024.

Date Effective: May 18, 2024  
Issued by David R. Perez, EVP and COO  
Post Office Box 805379  
Chicago, Illinois 60680-5379

**ENVIRONMENTAL COST RECOVERY ADJUSTMENT**

**Supplement to Rider ECR (1)**

ECR Applicable Beginning with the January 2024 Monthly Billing Period and Extending Through the March 2024 monthly Billing Period (2)
0.022 ¢/kWh

ECR Applicable Beginning with the April 2024 Monthly Billing Period and Extending Through the December 2024 monthly Billing Period (2)
0.033 ¢/kWh

**NOTES:**

- (1) This informational sheet is supplemental to Rider ECR - Environmental Cost Recovery Adjustment (Rider ECR).
- (2) An X.XXX value is a charge, while an (X.XXX) value is a credit.

**ENERGY EFFICIENCY ADJUSTMENTS**

**Supplement to Rider EEPP (1)**

Customer Group	EE Adjustment Applicable for the January 2023 Monthly Billing Period and Extending Through the December 2023 Monthly Billing Period (2)(3)
Residential	0.276 ¢/kWh
Small N&L (4)	0.461 ¢/kWh
Large N (5)	0.221 ¢/kWh

Customer Group	EE Adjustment Applicable Beginning with the January 2024 Monthly Billing Period and Extending Through the December 2024 Monthly Billing Period (2)(3)
Residential	0.366 ¢/kWh
Small N&L (4)	0.691 ¢/kWh
Large N (5)	0.354 ¢/kWh

NOTES:

- (1) This informational sheet is supplemental to Rider EEPP – Energy Efficiency Pricing and Performance (Rider EEPP).
- (2) The EE Adjustment is designated on retail customer bills as the Energy Efficiency Programs.
- (3) An X.XXX value is a charge, while an (X.XXX) value is a credit.
- (4) Small N&L Group means the designation applicable to retail customers, each to which (a) one of the (i) Watt-Hour Delivery Class, (ii) Small Load Delivery Class, (iii) Medium Load Delivery Class, (iv) Large Load Delivery Class, (v) Fixture-Included Lighting Delivery Class, (vi) Dusk to Dawn Lighting Delivery Class, or (vii) General Lighting Delivery Class is applicable, and (b) the Opt-out Group is not applicable.
- (5) Large N Group means the designation applicable to retail customers, each to which (a) one of the (i) Very Large Load Delivery Class, (ii) Extra Large Load Delivery Class, or (iii) High Voltage Delivery Class, is applicable, and (b) the Opt-out Group is not applicable.

**RENEWABLE ENERGY ADJUSTMENTS**

**Supplement to Rider REA (1)**

RE Adjustment Applicability (2)	RE Adjustment Applicable for the September 2023 Monthly Billing Period and Extending Through the May 2024 Monthly Billing Period (3)
All Retail Customers	0.502 ¢/kWh
RE Adjustment Applicability (2)	RE Adjustment Applicable Beginning with the June 2024 Monthly Billing Period and Extending Through the August 2024 Monthly Billing Period (3)
All Retail Customers	0.502 ¢/kWh

**NOTES:**

- (1) This informational sheet is supplemental to Rider REA - Renewable Energy Adjustment (Rider REA).
- (2) The RE Adjustment is designated on retail customer bills as the Renewable Portfolio Standard.
- (3) An X.XXX value is a charge, while an (X.XXX) value is a credit.

**RIDER TAX  
MUNICIPAL AND STATE TAX ADDITIONS**

**Applicable to All Rates Except Rate RESS and Rate MSPS**

**STATE TAX ADDITIONS.**

\* Pursuant to the provisions of the Electricity Excise Tax Law, 35 ILCS 640/2-4, imposing an excise tax on the privilege of using electricity purchased for use or consumption and not for resale, the Company charges state tax additions based upon the following cents per kilowatt-hour ( $\text{¢/kWh}$ ) rates applied, as appropriate, to the kilowatt-hours (kWhs) delivered to retail customers, excluding business enterprises exempted under Section 2-4(c) and self-assessing purchasers as defined in the Electricity Excise Tax Law, 65 ILCS 640/2-3:

		<u><math>\text{¢/kWh}</math></u>
for the first	2,000 kWh used in a month	0.330
for the next	48,000 kWh used in a month	0.319
for the next	50,000 kWh used in a month	0.303
for the next	400,000 kWh used in a month	0.297
for the next	500,000 kWh used in a month	0.286
for the next	2,000,000 kWh used in a month	0.270
for the next	2,000,000 kWh used in a month	0.254
for the next	5,000,000 kWh used in a month	0.233
for the next	10,000,000 kWh used in a month	0.207
for all over	20,000,000 kWh used in a month	0.202

The total amount of such state tax additions is separately stated on the monthly bill of each retail customer to which such additions are applicable.

**MUNICIPAL TAX ADDITIONS.**

For each municipality that has adopted an ordinance imposing a tax on the privilege of using or consuming electricity acquired in a purchase at retail and used or consumed within the corporate limits of such municipality based on the kWh categories specified in Section 8-11-2, subparagraph 3 of the Illinois Municipal Code, 65 ILCS 5/8-11-2(3), the Company charges municipal tax additions based upon the  $\text{¢/kWh}$  rates listed in this Municipal Tax Additions section for such municipality applied, as appropriate, to the kWhs delivered to all retail customers located within the corporate limits of such municipality.

The rates, in  $\text{¢/kWh}$ , listed in this Municipal Tax Additions section for each such municipality include an addition equal to three percent (3%) of the tax to provide for reimbursement of administrative expenses as allowed by Section 8-11-2 subsection 4(c) of the Illinois Municipal Code, 65 ILCS 5/8-11-2(4c), as amended.

The total amount of such municipal tax additions is separately stated on the monthly bill of each retail customer to which such additions are applicable with the designation "Municipal Tax" or "City Tax" or by a similar legend.

(Continued on Sheet No. 259)

**FRANCHISE COST PERCENTAGES**

(Continued from Informational Sheet No. 11)

Municipality	FC% Applicable Beginning with the June 2023 Monthly Billing Period and Extending Through the May 2024 Monthly Billing Period (2)	FC% Applicable Beginning with the June 2024 Monthly Billing Period and Extending Through the May 2025 Monthly Billing Period (2)
ESSEX	2.911%	2.985%
EVERGREEN PARK	3.149%	2.749%
FLOSSMOOR	4.805%	3.674%
FORD HEIGHTS	6.819%	4.708%
FOREST PARK	2.007%	1.473%
FORESTVIEW	9.075%	6.071%
FORRESTON	1.534%	1.775%
FOX LAKE	2.232%	2.002%
FOX RIVER GR	1.615%	1.340%
FRANKFORT	0.954%	1.103%
FRANKLIN GROVE	4.343%	4.129%
FRANKLIN PARK	1.154%	0.950%
FREEPORT	1.987%	1.791%
FULTON	1.310%	1.176%
GARDNER	0.589%	0.506%
GENOA	3.700%	2.431%
GERMAN VALLEY	3.036%	2.986%
GILBERTS	0.832%	0.752%
GLEN ELLYN	3.351%	2.712%
GLENCOE	3.193%	2.390%
GLENDALE HEIGHTS	2.324%	1.708%
GLENVIEW	2.463%	2.029%
GLENWOOD	3.876%	2.587%
GODLEY	2.143%	2.306%
GOLF	1.321%	1.191%
GRAND RIDGE	1.032%	0.910%
GRANT PARK	1.070%	1.003%
GRAYSLAKE	1.259%	1.027%
GREEN OAKS	0.231%	0.202%
GREENWOOD	0.385%	0.355%
GURNEE	2.179%	1.677%
HAINESVILLE	1.775%	1.614%
HAMPSHIRE	0.444%	0.372%
HANOVER PARK	3.484%	2.606%
HARMON	2.445%	1.950%
HARVARD	2.561%	2.319%
HARVEY	1.126%	0.783%
HARWOOD HEIGHTS	2.280%	1.857%
HAWTHORN WOODS	1.489%	1.392%
HAZELCREST	2.948%	2.600%
HEBRON	1.757%	1.542%
HERSCHER	1.823%	1.703%
HICKORY HILLS	1.947%	1.795%
HIGHLAND PARK	2.526%	2.118%
HIGHWOOD	1.413%	1.342%
HILLSIDE	5.184%	4.316%
HINCKLEY	1.619%	1.410%
HINSDALE	2.396%	1.544%
HODGKINS	1.663%	1.320%
HOFFMAN ESTATES	2.326%	1.795%

(Continued on Informational Sheet No. 13)



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**Rate 1  
Residential Service**

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**Availability.**

This rate is available to any single-family residential Customer using the Company's gas service primarily for residential purposes.

**\* Charges shall be the sum of (a), (b) and (c).**

- (a) Monthly Customer Charge  
\$19.48 per month.
  
- (b) Distribution Charge  
21.34¢ per therm for all therms supplied to the Customer in the month.
  
- (c) Gas Supply Cost  
The Gas Cost (GC) per therm supplied in the month as determined in accordance with the Company's Rider 6, Gas Supply Cost.

**Term of Service.**

The Customer's term of service shall commence when the Company begins to supply service hereunder. Customer shall provide at least 10 days notice to discontinue service.

**Combination Residence and Business.**

Gas will be supplied hereunder for the entire requirements of a combined residence and business, if the preponderant requirement is for residential purposes.

**General.**

The Schedule of which this rate is part includes certain general Terms and Conditions and Riders. Service hereunder is subject to these Terms and Conditions and the Riders which are listed as applicable to this rate.

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**Rider 1  
Customer Charge Adjustments**

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**Applicable to All Rates and Special Contracts  
\*Except Rate 82**

The monthly Customer charges authorized under the Schedule of which this rider is a part, as effective from time to time, and special Customer contracts, with or without monthly Customer charges, shall be subject to the following additional charges:

**Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund.**

Pursuant to the provisions of Section 13 of the Energy Assistance Act of 1989, as amended, whereby the Company is required to impose a monthly Energy Assistance Charge for the Supplemental Low-Income Energy Assistance Fund on each account for which natural gas service is provided, the Company shall increase the monthly Customer charge by the following amounts:

Residential Service

\$0.48 per month on each account.

Non-Residential Service

\$4.80 per month on each account which has consumed less than 4,000,000 therms of gas in the previous calendar year.

\$180.00 per month on each account which has consumed 4,000,000 or more therms of gas in the previous calendar year.

**Renewable Energy Resources and Coal Technology Development Assistance Charge**

Pursuant to the provisions of Section 6-5 of the Renewable Energy, Energy Efficiency and Coal Resources Development Law of 1997, whereby the Company is required to impose a monthly Renewable Energy Resources and Coal Technology Development Assistance Charge on each account for which natural gas service is provided, the Company shall increase the monthly Customer charge by the following amounts:

Residential Service

\$0.05 per month on each account.

Non-Residential Service

\$0.50 per month on each account which has consumed less than 4,000,000 therms of gas in the previous calendar year.

\$37.50 per month on each account which has consumed 4,000,000 or more therms of gas in the previous calendar year.

Except as specified above, all other provisions of the rate or special contract shall apply.

(Continued On Sheet No. 55.5.1)

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Effective September 4, 2023  
Issued by – Rachelle Whitacre  
Director  
Post Office Box 190  
Aurora, Illinois 60507

Items in which there are changes are preceded by an asterisk (\*)

**Northern Illinois Gas Company  
d/b/a Nicor Gas Company**

116th INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.  
85, 85.1, 85.2, 85.3, 85.4, 85.5, 85.6, 85.7, 85.8 AND 85.9 OF ILL.C.C. NO. 16, SCHEDULE G

**Rider 32. Qualified Infrastructure Plant**

Applicable to Rates 1, 4, 5, 6, 7, 74, 75, 76, 77 and Riders 3, 5, 26, 36, and 38

Qualified Infrastructure Plant (QIP) Charge Percentage Effective July 1, 2024

<u>LINE NO.</u>	<u>DESCRIPTION</u>	<u>PERCENTAGE</u>
1	Rider QIP Percentage Effective July 1, 2024	1.01%

**Northern Illinois Gas Company  
d/b/a Nicor Gas Company**

29th INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.  
79, 79.1, 79.2, 79.3, 79.4, 79.5 AND 79.6 OF ILL.C.C. NO. 16, SCHEDULE G

**Rider 26. Uncollectible Expense Adjustment**

Applicable to Rates 1, 4, 5, 74 and 75

Uncollectible Expense Adjustment Effective with Service Rendered on or after June 1, 2024

<u>LINE NO.</u>		<u>Residential Sales Customers 1/</u>	<u>Residential Transportation Customers 2/</u>	<u>Non-Residential Sales Customers 3/</u>	<u>Non-Residential Transportation Customers 4/</u>
1	Basic Charge per Customer	\$ (0.07)	\$ 0.01	\$ (0.13)	\$ 0.02
2	Annual Reconciliation Charge	\$ <u>0.00</u>	\$ <u>0.00</u>	\$ <u>0.00</u>	\$ <u>0.00</u>
3	Total Charge	\$ (0.07)	\$ 0.01	\$ (0.13)	\$ 0.02

1/ Customers receiving residential delivery and supply service under Rate 1, Rider 6.

2/ Customers receiving residential delivery service under Rate 1 – Rider 15 (Customer Select).

3/ Customers receiving non-residential delivery and supply service under Rates 4 or 5 and Rider 6.

4/ Customers receiving non-residential delivery service under Rates 4 and 5, Rider 15 (Customer Select) and Rate 74 or 75.

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Filed with the Illinois Commerce Commission on or before May 20, 2024

Issued by Rachele Whitacre  
Director  
Post Office Box 190  
Aurora, Illinois 60507

**Northern Illinois Gas Company  
d/b/a Nicor Gas Company**

50th INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.  
56 AND 57 OF ILL.C.C. NO. 16, SCHEDULE G

**Rider 5 Storage Service Cost Recovery**

STORAGE SERVICE COST RECOVERY EFFECTIVE WITH SERVICE RENDERED ON OR AFTER  
JULY 1, 2024 (1)

<u>LINE NO.</u>		<u>SSCR</u>
1	BASIC CHARGE PER THERM	0.11 ¢
2	ANNUAL RECONCILIATION CHARGE	<u>0.00</u> ¢
3	TOTAL CHARGE	<u>0.11</u> ¢

(1) APPLICABLE TO ALL SERVICE CLASSIFICATIONS

**15TH INFORMATION SHEET SUPPLEMENTAL TO SHEET NO.55.51 OF ILL. C. C. NO. 16, SCHEDULE G  
(Superseding 14th Information Sheet Effective May 1, 2023)**

**RIDER 2 FRANCHISE COST ADJUSTMENT  
Applicable to All Rates Except 17, 19, 21 and 82**

<u>Name of Local Governmental Unit</u>	<u>Franchise Cost Adjustment</u>	<u>Name of Local Governmental Unit</u>	<u>Franchise Cost Adjustment</u>
Congerville	\$ 0.48	East Hazelcrest	\$ 0.50
Cooksville	\$ 0.29	El Dara	\$ -
Cornell	\$ 0.28	El Paso	\$ 0.35
Cortland	\$ 0.60	Elburn	\$ 0.53
Country Club Hills	\$ 0.40	Elgin	\$ 0.15
Countryside	\$ 0.99	Elizabeth	\$ 0.40
Crescent City	\$ 0.30	Elk Grove Village	\$ 0.36
Crest Hill	\$ 0.57	Elliott	\$ 0.29
Creston	\$ 0.20	Ellsworth	\$ 0.28
Crestwood	\$ 0.36	Elmhurst	\$ 0.26
Crete	\$ 0.33	Elmwood Park	\$ 0.32
Crystal Lake	\$ 0.24	Elvaston	\$ 0.26
Cullom	\$ 0.23	Elwood	\$ 0.51
Dakota	\$ 0.09	Emington	\$ 0.35
Dallas City	\$ 0.17	Essex	\$ 0.13
Dana	\$ 0.35	Evanston	\$ 0.28
Danforth	\$ 0.61	Evergreen Park	\$ 0.35
Danvers	\$ 0.29	Fairbury	\$ 0.27
Darien	\$ 0.48	Farmer City	\$ 0.10
Davis	\$ 0.32	Ferris	\$ 0.28
Davis Junction	\$ 0.16	Fisher	\$ 0.09
Deer Creek	\$ 0.31	Flanagan	\$ 0.34
Deer Grove	\$ 0.27	Flossmoor	\$ 0.30
Deer Park	\$ 0.65	Ford Heights	\$ 0.68
Deerfield	\$ 0.37	Forest Park	\$ 0.30
DeKalb	\$ 0.27	Forest View	\$ 0.44
Des Plaines	\$ 0.20	Forrest	\$ 0.35
Diamond	\$ 0.61	Forreston	\$ 0.30
Dixmoor	\$ 0.37	Fox Lake	\$ 0.30
Dixon	\$ 0.37	Fox River Grove	\$ 0.49
Dolton	\$ 0.33	Frankfort	\$ 0.16
Donovan	\$ 0.29	Franklin Grove	\$ 0.22
Downers Grove	\$ 0.23	Franklin Park	\$ 0.38
Downs	\$ 0.54	Freeport	\$ 0.17
Durand	\$ 0.19	Galena	\$ 0.28
Dwight	\$ 0.33	Gardner	\$ 0.28
Earlville	\$ 0.54	Geneseo	\$ 0.46
East Brooklyn	\$ 0.28	Geneva	\$ 0.27
East Dubuque	\$ 0.37	Genoa	\$ 0.59
East Dundee	\$ 0.23	German Valley	\$ 0.36

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Effective May 1, 2024  
Issued by Rachelle Whitacre  
Director  
Post Office Box 190  
Aurora, IL 60507

## Rider 6. Gas Supply Coost

GAS CHARGES EFFECTIVE WITH SERVICE RENDERED ON AND AFTER JULY 1, 2024

**I. Gas Charge (GC)**

LINE NO.		GAS CHARGE (GC)	COMMODITY GAS CHARGE (CGC)	DEMAND GAS CHARGE (DGC)	NON-COMMODITY GAS CHARGE (NCGC)	TRANSPORTATION SERVICE ADJUSTMENT (2) (TSA)	CUSTOMER SELECT BALANCING CHARGE (1) (CSBC)
1	BASIC CHARGE	35.48 ¢	26.73 ¢				
2	RIDER 5, STORAGE SERVICE COST RECOVERY (SSCR)	0.11 ¢	0.11 ¢				
3	TOTAL CHARGES	<u>35.59 ¢</u>	<u>26.84 ¢</u>	<u>80.81 ¢</u>	<u>8.75 ¢</u>	<u>0.00 ¢</u>	<u>2.16 ¢</u>

**II. Calculation of GCR and GCNR**

	GCR	GCNR
Gas Cost	35.59 ¢	35.59 ¢
Uncollectible Factor Percentage (2)	1.15%	0.52%
Uncollectible Factor Rate (3) = (1*2)	0.41 ¢	0.19 ¢
Total (1+3)	36.00 ¢	35.78 ¢

Gas Charge Residential (GCR) = 36.00 ¢  
Gas Charge Non-Residential (GCNR) : 35.78 ¢

- (1) APPLICABLE TO SERVICE UNDER RIDERS 15 AND 16.
- (2) APPLICABLE TO ALL SERVICE CLASSIFICATIONS. IT IS INCLUDED IN THE CGC FOR SALES CUSTOMERS.
- (3) A RESIDENTIAL CUSTOMER'S TOTAL CHARGE IS EQUAL TO THE GCR. A NON-RESIDENTIAL CUSTOMER'S TOTAL CHARGE IS EQUAL TO THE GCNR.

\* GAS CHARGE (GC); SUM OF:

CGC	26.73 ¢
NCGC	8.75 ¢
<b>BASIC GAS CHARGE</b>	<b>35.48 ¢</b>

**Northern Illinois Gas Company  
d/b/a Nicor Gas Company**

86TH INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.  
68, 69 AND 70 OF ILL.C.C. NO. 16, SCHEDULE G

**Rider 12. Environmental Cost Recovery**

Applicable to All Rates  
(Except Rate 21 and other Negotiated Contracts)

Environmental Cost Recovery Effective with Service Rendered on or after May 1, 2024

<u>LINE NO.</u>		<u>Residential (1)</u>	<u>Small Non-Residential (2)</u>	<u>Large Non-Residential (3)</u>
1	Basic Charge per Therm	1.74 ¢	0.81 ¢	0.23 ¢
2	Annual Reconciliation Charge	<u>0.17 ¢</u>	<u>0.08 ¢</u>	<u>0.03 ¢</u>
3	Total Charge	1.91 ¢	0.89 ¢	0.26 ¢

(1) RESIDENTIAL CUSTOMER (RATE 1)

(2) SMALL NON-RESIDENTIAL CUSTOMERS (RATES 4, 5, 74 AND 75)

(3) LARGE NON-RESIDENTIAL CUSTOMERS (RATES 6, 7, 76 AND 77)

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Filed with the Illinois Commerce Commission on or before April 20, 2024

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Director  
Post Office Box 190  
Aurora, Illinois 60507



**Northern Illinois Gas Company  
d/b/a Nicor Gas Company**

27th REVISED INFORMATION SHEET SUPPLEMENTAL TO SHEET NOS.  
83, 83.1, 83.2, 83.3 AND 83.4 OF ILL.C.C. NO. 16, SCHEDULE G

**Rider 30 - Energy Efficiency Plan Cost Recovery**

Applicable to All Rates

Energy Efficiency Plan Cost Recovery Effective with Service Rendered on or after April 1, 2024

<u>LINE NO.</u>		<u>Residential (1)</u>	<u>Small Non- Residential (2)</u>	<u>Large Non- Residential (3)</u>
1	Basic Charge per Therm	1.34 ¢	0.99 ¢	0.77 ¢
2	Annual Reconciliation Charge	<u>(0.37) ¢</u>	<u>0.58 ¢</u>	<u>0.16 ¢</u>
3	Total Charge	0.97 ¢	1.57 ¢	0.93 ¢

(1) RESIDENTIAL CUSTOMER (RATE 1)

(2) SMALL NON-RESIDENTIAL CUSTOMERS (RATES 4, 5, 74 AND 75)

(3) LARGE NON-RESIDENTIAL CUSTOMERS (RATES 6, 7, 17, 19, 76 AND 77)

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Filed with the Illinois Commerce Commission on or before March 20, 2024

Issued by Rachelle Whitacre  
Director  
Post Office Box 190  
Aurora, Illinois 60507

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**Rider 8**  
**Adjustments for Municipal, Local Governmental Unit and State Utility Taxes**

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(Continued From Sheet No. 64)

- \* The additional charge currently applicable in each municipality or local governmental unit which has levied a municipal gas use tax based on a charge per unit of energy is shown on the Information Sheet supplemental to this Rider.
  
- \* **State Utility Tax, Gas Use Tax and State Utility Fund Tax Charge.**  
Where the Company pays a state tax based on a percentage of gross receipts or a charge per unit of energy, including any amounts resulting from audit adjustments, imposed by the State under the provisions of "The Gas Revenue Tax Act," as heretofore and hereafter amended, the additional charge applicable shall equal the amount pursuant to the provisions of Section 9-222 of "The Public Utilities Act," as heretofore and hereafter amended. The amount of such additional charge is the lower of 5.00 percent or 2.4 cents per therm.

As provided by the "Gas Use Tax Law", and imposed by the State, the Company shall collect the Gas Use Tax from Customers receiving service under the Company's transportation service rates and riders at the rate of 2.4 cents per therm. Upon receipt of proper notification, the Company shall not collect the Gas Use Tax for gas used by customers meeting one of the following criteria:

(Continued On Sheet No. 64.5)

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Filed with the Illinois Commerce Commission on March 31, 2009  
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entered March 25, 2009 in Docket No. 08-0363  
Items in which there are changes are preceded by an asterisk (\*)

Effective April 3, 2009  
Issued by – Gerald P. O'Connor  
Senior Vice President  
Post Office Box 190  
Aurora, Illinois 60507

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**Rider 8**

**\*Adjustments for Municipal, Local Governmental Unit and State Utility Taxes**

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(Continued From Sheet No. 64.1)

- (1) Gas used by a Self-Assessing Purchaser, as defined by the Gas Use Tax Law, who provides the Company with a copy of the certificate of registration as a Self-Assessing Purchaser from the Department of Revenue;
- (2) Gas used by business enterprises located in an enterprise zone certified by the Department of Commerce and Economic Opportunity pursuant to the Illinois Enterprise Zone Act;
- (3) Gas used by governmental bodies, or a corporation, society, association, foundation or institution organized and operated exclusively for charitable, religious, or educational purposes. Such use shall not be exempt unless the government body, or corporation, society, association, foundation, or institution organized and operated exclusively for charitable, religious, or educational purposes has first been issued as tax exemption identification number by the Department of Revenue pursuant to Section 1g of the Retailers' Occupation Tax Act. A limited liability company may qualify for the exemption under this Section only if the limited liability company is organized and operated exclusively for educational purposes. The term "educational purposes" shall have the same meaning as that set forth in Section 2h of the Retailers' Occupation Tax Act;
- (4) Gas used in the production of electric energy. This exemption does not include gas used in the general maintenance or heating of an electric energy production facility or other structure;
- (5) Gas used in a petroleum refinery operation;
- (6) Gas purchased by persons for use in liquefaction and fractionation process that produce value added natural gas byproducts for resale;
- (7) Gas use in the production of anhydrous ammonia and downstream nitrogen fertilizer products for resale.

For gas uses meeting one of the criteria numbered (2) through (7), Customers must submit to the Company an exemption certificate obtained from the Illinois Department of Revenue.

Where the Company pays a state tax based on a percentage of gross receipts, imposed by the State under the provisions of Section 2-202 of "The Public Utilities Act," as heretofore and hereafter amended, the additional charge, applicable to all taxable receipts, shall equal the percentage pursuant to the provisions of Section 9-222 of "The Public Utilities Act," as heretofore and hereafter amended. The amount of such additional charge due to the Public Utility Fund Tax is 0.1 percent.

**\* General.**

The effectiveness of any additional charge due to tax shall coincide with the date upon which gross receipts or gas use is subject to the tax or, in the case of a payment of tax by the Company resulting from an audit adjustment, then the date upon which the Company makes such payment.

Except as specified above, all other provisions of the rate shall apply.

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Filed with the Illinois Commerce Commission on March 31, 2009  
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Items in which there are changes are preceded by an asterisk (\*)

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Effective April 3, 2009  
Issued by – Gerald P. O'Connor  
Senior Vice President  
Post Office Box 190  
Aurora, Illinois 60507

## **COMPARISON OF PREVIOUS AND CURRENT UTILITY RATES**

## Comparison of Previous and Current Utility Rates PUBLIC HOUSING

### HOUSING AUTHORITY OF THE CITY OF FREEPORT, IL

**Note: Rates in bold text indicate changes and gray print indicates removal.**

(We use the absolute value of the changes which gives us the percentage of change. This is the best way to determine a 10% change in utility rates and charges.)

#### ELECTRIC

Description	Measure	Summer Rates		Winter Rates		Difference		Percentage	
		5/2023	8/2024	5/2023	8/2024	Summer	Winter	Summer	Winter
		Total Monthly Charges	\$14.14	\$14.16	\$14.14	\$14.16	\$0.02	\$0.02	1%
Total Energy Charges	0.255357	<b>0.120781</b>	0.256497	<b>0.118001</b>	-0.134576	-0.138496	-53%	-54%	
Franchise Cost Percentage	2.283%	<b>1.791%</b>	2.283%	<b>1.791%</b>	-0.005	-0.005	-0.5%	-0.5%	

*Summer: June - September (4), Winter: October - May (8)*

**UPDATE 2024**

#### NATURAL GAS

Description	Measure	Rates		Difference	
		5/2023	8/2024	Amount	Percent
		Total Monthly Charges	\$24.34	<b>\$20.31</b>	-\$4.03
Total Energy Charges	0.540519	<b>0.629466</b>	0.088947	17%	
Public Utility Fund	0.1%	0.1%	0.00	0%	

## **DEVELOPMENT CHARACTERISTICS**

## Cheryl Lord

**From:** No Reply  
**Sent:** Wednesday, June 24, 2020 8:43 AM  
**To:** fhughes@hacf.us  
**Subject:** ResidentLife Quote Request

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

**Categories:** Quote Request

## ResidentLife Utility Allowance Quote Request

Contact Person's Name: Faniqua Hughes  
 Title: Director of Operations  
 Agency Name: Housing Authority of the City of Freeport  
 HACode: IL029  
 (Required for Public Housing)  
 (See HUD's HA Profiles Website)  
 Fiscal Year End: Mar. 31  
 Address: 1052 W. Galena Ave  
 City: Freeport  
 State: Illinois  
 Zip Code: 61032  
 Phone Number: (815) 232-4171 x1018  
 Fax Number: (815) 599-1388  
 Email Address: fhughes@hacf.us  
 Website: www.freeporthousing.org  
 Agency Facebook Page:  
 Study Types: Public Housing, Units: 256  
 Other (specify)

## Complete for Public Housing

Development Name	Development Code	Year Built	Building Type	Total Units	Bedroom Sizes (check all that apply)						Resident-Paid Utilities*** (See Legend)				
					0	1	2	3	4	5	Electric	Natural Gas	Water	Sewer	Tras
Parkside	AMP 11	1957	Row House/Townhouse	71	Yes	Yes	Yes	Yes	Yes	Yes	I	I	C	C	C
Westview	AMP 12	1960	Row House/Townhouse	196	Yes	Yes	Yes	Yes	Yes	Yes	I	I	C	C	C

Legend: I = Resident-Paid / Individual Meters, C = Check-Metered / Paid by Agency, M = Master-Metered / No Allowances

Utility Provider Name	Utility Type	Phone Number	Website	Paid By
ComEd	Electric	(800) 334-7661	www.comed.com	Resident

<b>Utility Provider Name</b>	<b>Utility Type</b>	<b>Phone Number</b>	<b>Website</b>	<b>Paid By</b>
Nicor	Natural Gas	(888) 642-6748	www.nicorgas.com	Resident
City of Freeport Water and Sewer	Electric		www.cityoffreeport.org	Agency

**Comments or Questions:**

We are looking for accurate way to get a utility allowance schedule that is not as time consuming. I am interested in knowing the cost, how much time the process takes, and how often would we need to do this in order to stay in compliance.



## **CUSTOMIZATION FOR BASE EKOTROPE MODELS**

Housing Agency:

**Housing Authority of the City of Freeport**

### Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for **each development/property** and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. **Blue text represents energy efficiency measures/equipment.**

Development Name & No.:

Parkside AMP 11

Building: Year Built: 1957 Structure Type:  Apt  High-Rise  RH  SD  DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities:  Electric  Natural Gas  Water  Sewer  Trash

Agency-Paid Utilities:  Electric  Natural Gas  Water  Sewer  Trash

OR  All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes:  0BR/EFF  1BR  2BR  3BR  4BR  5BR  6BR

1 Foundation Type:  Concrete Slab  Pier-Beam (Crawl Space)  Basement

2 Window Type:  Single Pane  Double Pane Low-E/Vinyl  Other: Thermo Pane  
U-Factor: \_\_\_\_\_ SHGC: \_\_\_\_\_ (Solar Heat Gain Coefficient)

3 # of Stories in Unit:  one  two  Building has multiple stories

4 Exterior Veneer/Cladding:  Siding  Brick  Stucco  Other: Brick Veneer

#### HVAC

5a Heating Fuel:  Electric  Natural Gas  Other: \_\_\_\_\_

5b Is Heating Individually Metered?  Yes  No

5c Heating Type:  Electric Baseboard  Central Boiler (Radiant)  Individual Boiler

Energy Efficiencies:  Heat Pump  Forced Air Furnace w/ ducts/Wall unit (80 AFUE)  
Heat Pump Efficiency Rating: SEER: \_\_\_\_\_ HSPF: \_\_\_\_\_  
 Solar Panels Installed  (High Efficiency) Gas Furnace (90 AFUE)  
(additional information is needed)

5d Heating Equipment Location:  Conditioned Space  Unconditioned Space (attic/garage)

5e Air Conditioning:  Yes  No Type:  Window Unit  Central Tonage: \_\_\_\_\_

6 Air Ducts:  Yes  No

If Yes, Location:  Conditioned Space  Unconditioned Space (attic)

7a Water Heater:  Electric (30 gal)  Natural Gas (30 gal)  Oil  
40-50 gallon  Elec Tank .90 EF  Gas Tank .58 EF  Solar Water Heating  
(additional information is needed)  
 Elec Tank .95 EF  Gas Tank .62 EF  
 Elec Tankless  Gas Tankless .80 EF or higher

7b Water Heater Type:  Individual units  Central Boiler

7c Water Htr Location:  Conditioned Space  Unconditioned Space (attic/garage)

8 Stove/Range:  Electric  Natural Gas

9 Energy Efficiencies:

Insulation:  Ceiling (R-20)(min.)  Ceiling (R-38)  Wall (R-13)  
 Ceiling (R-30)  Ceiling (R-49)  Wall (R-19)

Low Flow Water:  Shower, Faucets, Toilets Lighting:  100% CFL  100% LED

10  GeoThermal (HVAC and DHW) COP Rating: \_\_\_\_\_

Notes/Comments: AMP 11 includes Parkside & Lincoln Village

PS 65 Units & 1 Office 1 Community Center

LV 6 Units

Housing Agency:

**Housing Authority of the City of Freeport**

### Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for **each development/property** and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. **Blue text represents energy efficiency measures/equipment.**

Development Name & No.:

Parkside AMP 11

Building: Year Built: \_\_\_\_\_

Structure Type:  Apt  High-Rise  RH  SD  DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities:  Electric  Natural Gas  Water  Sewer  Trash

Agency-Paid Utilities:  Electric  Natural Gas  Water  Sewer  Trash

OR  All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes:  OBR/EFF  1BR  2BR  3BR  4BR  5BR  6BR

1	Foundation Type:	<input checked="" type="checkbox"/> Concrete Slab	<input type="checkbox"/> Pier-Beam (Crawl Space)	<input type="checkbox"/> Basement
2	Window Type:	<input type="checkbox"/> Single Pane	<input type="checkbox"/> Double Pane Low-E/Vinyl	<input checked="" type="checkbox"/> Other: Thermo Pane
	U-Factor: _____ SHGC: _____	(Solar Heat Gain Coefficient)		
3	# of Stories in Unit:	<input type="checkbox"/> one	<input type="checkbox"/> two	<input checked="" type="checkbox"/> Building has multiple stories
4	Exterior Veneer/Cladding:	<input type="checkbox"/> Siding <input type="checkbox"/> Brick <input type="checkbox"/> Stucco <input type="checkbox"/> Other: _____		

#### HVAC

5a	Heating Fuel:	<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Natural Gas	<input type="checkbox"/> Other: _____
5b	Is Heating Individually Metered?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
5c	Heating Type:	<input type="checkbox"/> Electric Baseboard	<input type="checkbox"/> Central Boiler (Radiant)	<input type="checkbox"/> Individual Boiler
	Energy Efficiencies:	<input type="checkbox"/> Heat Pump	<input checked="" type="checkbox"/> Forced Air Furnace w/ ducts/Wall unit (80 AFUE)	
	Heat Pump Efficiency Rating: SEER: _____ HSPF: _____			
	<input type="checkbox"/> Solar Panels Installed (additional information is needed)	<input checked="" type="checkbox"/> (High Efficiency) Gas Furnace (90 AFUE)		
5d	Heating Equipment Location:	<input checked="" type="checkbox"/> Conditioned Space <input type="checkbox"/> Unconditioned Space (attic/garage)		
5e	Air Conditioning:	<input type="checkbox"/> Yes <input type="checkbox"/> No	Type: <input type="checkbox"/> Window Unit <input type="checkbox"/> Central	Tonage: _____

6	Air Ducts:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
	If Yes, Location:	<input checked="" type="checkbox"/> Conditioned Space	<input type="checkbox"/> Unconditioned Space (attic)	

7a	Water Heater:	<input type="checkbox"/> Electric (30 gal) 40-50 gallon	<input checked="" type="checkbox"/> Natural Gas (30 gal)	<input type="checkbox"/> Oil
		<input type="checkbox"/> Elec Tank .90 EF	<input checked="" type="checkbox"/> Gas Tank .58 EF	<input type="checkbox"/> Solar Water Heating (additional information is needed)
		<input type="checkbox"/> Elec Tank .95 EF	<input type="checkbox"/> Gas Tank .62 EF	
		<input type="checkbox"/> Elec Tankless	<input type="checkbox"/> Gas Tankless .80 EF or higher	

7b	Water Heater Type:	<input checked="" type="checkbox"/> Individual units	<input type="checkbox"/> Central Boiler	
7c	Water Htr Location:	<input checked="" type="checkbox"/> Conditioned Space	<input type="checkbox"/> Unconditioned Space (attic/garage)	

8	Stove/Range:	<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Natural Gas	
---	--------------	-----------------------------------	-------------------------------------------------	--

9	Energy Efficiencies:				
	Insulation:	<input type="checkbox"/> Ceiling (R-20)(min.)	<input type="checkbox"/> Ceiling (R-38)	<input type="checkbox"/> Wall (R-13)	
		<input type="checkbox"/> Ceiling (R-30)	<input checked="" type="checkbox"/> Ceiling (R-49)	<input type="checkbox"/> Wall (R-19)	
	Low Flow Water:	<input type="checkbox"/> Shower, Faucets, Toilets		Lighting: <input type="checkbox"/> 100% CFL <input type="checkbox"/> 100% LED	

10	<input type="checkbox"/> GeoThermal (HVAC and DHW) COP Rating: _____
----	----------------------------------------------------------------------

Notes/Comments: AMP 11 includes Parkside & Lincoln Village  
 PS 65 Units & 1 Office 1 Community Center  
 LV 6 Units

Housing Agency:

**Housing Authority of the City of Freeport**

### Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for **each development/property** and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. **Blue text represents energy efficiency measures/equipment.**

Development Name & No.:

Westview AMP 12

Building: Year Built: 1960

Structure Type:  Apt  High-Rise  RH  SD  DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities:  Electric  Natural Gas  Water  Sewer  Trash

Agency-Paid Utilities:  Electric  Natural Gas  Water  Sewer  Trash

OR  All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes:  OBR/EFF  1BR  2BR  3BR  4BR  5BR  6BR

1	Foundation Type:	<input checked="" type="checkbox"/> Concrete Slab	<input type="checkbox"/> Pier-Beam (Crawl Space)	<input checked="" type="checkbox"/> Basement Only 5 Ur Units @ Willow
2	Window Type:	<input type="checkbox"/> Single Pane	<input type="checkbox"/> Double Pane Low-E/Vinyl	<input checked="" type="checkbox"/> Other: Thermo Pane
	U-Factor:	SHGC:	(Solar Heat Gain Coefficient)	
3	# of Stories in Unit:	<input type="checkbox"/> one	<input type="checkbox"/> two	<input checked="" type="checkbox"/> Building has multiple stories
4	Exterior Veneer/Cladding:	<input checked="" type="checkbox"/> Siding <input type="checkbox"/> Brick <input type="checkbox"/> Stucco	<input checked="" type="checkbox"/> Other: Brick Veneer	

#### HVAC

5a	Heating Fuel:	<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Natural Gas	<input type="checkbox"/> Other:
5b	Is Heating Individually Metered?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	
5c	Heating Type:	<input type="checkbox"/> Electric Baseboard	<input type="checkbox"/> Central Boiler (Radiant)	<input type="checkbox"/> Individual Boiler
	Energy Efficiencies:	<input type="checkbox"/> Heat Pump	<input checked="" type="checkbox"/> Forced Air Furnace w/ ducts/Wall unit (80 AFUE)	
		Heat Pump Efficiency Rating: SEER: _____ HSPF: _____		
		<input type="checkbox"/> Solar Panels Installed	<input checked="" type="checkbox"/> (High Efficiency) Gas Furnace (90 AFUE)	(additional information is needed)
5d	Heating Equipment Location:	<input checked="" type="checkbox"/> Conditioned Space	<input type="checkbox"/> Unconditioned Space (attic/garage)	
5e	Air Conditioning:	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Type: <input type="checkbox"/> Window Unit <input checked="" type="checkbox"/> Central	Tonage: _____

6	Air Ducts:	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
	If Yes, Location:	<input checked="" type="checkbox"/> Conditioned Space	<input type="checkbox"/> Unconditioned Space (attic)

7a	Water Heater:	<input type="checkbox"/> Electric (30 gal)	<input checked="" type="checkbox"/> Natural Gas (30 gal)	<input type="checkbox"/> Oil
	40-50 gallon	<input type="checkbox"/> Elec Tank .90 EF	<input checked="" type="checkbox"/> Gas Tank .58 EF	<input type="checkbox"/> Solar Water Heating (additional information is needed)
		<input type="checkbox"/> Elec Tank .95 EF	<input type="checkbox"/> Gas Tank .62 EF	
		<input type="checkbox"/> Elec Tankless	<input type="checkbox"/> Gas Tankless .80 EF or higher	
7b	Water Heater Type:	<input checked="" type="checkbox"/> Individual units	<input type="checkbox"/> Central Boiler	
7c	Water Htr Location:	<input checked="" type="checkbox"/> Conditioned Space	<input type="checkbox"/> Unconditioned Space (attic/garage)	

8	Stove/Range:	<input type="checkbox"/> Electric	<input checked="" type="checkbox"/> Natural Gas
---	--------------	-----------------------------------	-------------------------------------------------

9	Energy Efficiencies:		
	Insulation:	<input type="checkbox"/> Ceiling (R-20)(min.)	<input type="checkbox"/> Ceiling (R-38)
		<input type="checkbox"/> Ceiling (R-30)	<input checked="" type="checkbox"/> Ceiling (R-49)
		<input type="checkbox"/> Wall (R-13)	<input type="checkbox"/> Wall (R-19)
	Low Flow Water:	<input type="checkbox"/> Shower, Faucets, Toilets	Lighting: <input type="checkbox"/> 100% CFL <input type="checkbox"/> 100% LED

10	<input type="checkbox"/> GeoThermal (HVAC and DHW) COP Rating: _____
----	----------------------------------------------------------------------

Notes/Comments: AMP 12 includes Westview, Gilmore, Willow, & Douglas Village  
 WV 84 Units & 1 Office 1 Community Center DV 26 Units & 1 Community Center Only Develop in Amp  
 GL 32 Units 12 w/ Central air

WL 40 UNITS & 1 Community Center

Housing Agency:

Housing Authority of the City of Freeport

Customization & Energy Efficiency Measures for Base REM/Rate Models

Please check appropriate box(s) for each development/property and note if different for other bedroom sizes in property. NOTE: Use separate form if criteria is different for BR sizes or more than one building type per property. Blue text represents energy efficiency measures/equipment.

Development Name & No.:

Westview AMP 12

Building: Year Built: Structure Type: Apt High-Rise RH SD DH

Legend: Apt=Apartment, RH=Row House/Townhouse, SD=Semi-Detached/Duplex, DH=Detached House

Resident-Paid Utilities: Electric Natural Gas Water Sewer Trash

Agency-Paid Utilities: Electric Natural Gas Water Sewer Trash

OR All Utilities are Master Metered (Paid by the Agency) (Stop here if ALL utilities are Master Metered)

Bedroom Sizes: OBR/EFF 1BR 2BR 3BR 4BR 5BR 6BR

1 Foundation Type: Concrete Slab Pier-Beam (Crawl Space) Basement 5 Units Willow
2 Window Type: Single Pane Double Pane Low-E/Vinyl Other: Thermo Pane
U-Factor: SHGC: (Solar Heat Gain Coefficient)
3 # of Stories in Unit: one two Building has multiple stories
4 Exterior Veneer/Cladding: Siding Brick Stucco Other:

HVAC

5a Heating Fuel: Electric Natural Gas Other:
5b Is Heating Individually Metered? Yes No
5c Heating Type: Electric Baseboard Central Boiler (Radiant) Individual Boiler
Energy Efficiencies: Heat Pump Forced Air Furnace w/ ducts/Wall unit (80 AFUE)
Heat Pump Efficiency Rating: SEER: HSPF:
Solar Panels Installed (High Efficiency) Gas Furnace (90 AFUE)
5d Heating Equipment Location: Conditioned Space Unconditioned Space (attic/garage)
5e Air Conditioning: Yes No Type: Window Unit Central Tonage:

6 Air Ducts: Yes No
If Yes, Location: Conditioned Space Unconditioned Space (attic)

7a Water Heater: Electric (30 gal) Natural Gas (30 gal) Oil
40-50 gallon Elec Tank .90 EF Gas Tank .58 EF Solar Water Heating
Elec Tank .95 EF Gas Tank .62 EF
Elec Tankless Gas Tankless .80 EF or higher

7b Water Heater Type: Individual units Central Boiler

7c Water Htr Location: Conditioned Space Unconditioned Space (attic/garage)

8 Stove/Range: Electric Natural Gas

9 Energy Efficiencies:
Insulation: Ceiling (R-20)(min.) Ceiling (R-38) Wall (R-13)
Ceiling (R-30) Ceiling (R-49) Wall (R-19)
Low Flow Water: Shower, Faucets, Toilets Lighting: 100% CFL 100% LED

10 GeoThermal (HVAC and DHW) COP Rating:

Notes/Comments: AMP 12 includes Westview, Gilmore, Willow, & Douglas Village
WV 84 Units & 1 Office 1 Community Center DV 26 Units & 1 Community Center
GL 32 Units Only Develop in Amp 12 with Central Air
WL 40 Units & 1 Community Center

## **DEVELOPMENT REPORTS**



**Current Study**

Type: **Low-Rent Utility Study - [New]**  
 Date: **September 22, 2020**  
 Agency: **Housing Authority of the City of Freeport**

[Home](#)

**ResidentLife Utility Allowance® Calculator**

[Logout](#)

**Administration**

- [Choose Agency](#)
- [New Agency](#)
- [Edit Agency](#)
- [Users](#)
- [Climate Regions](#)

**Utility Study**

- [Developments](#)
- [Utility Companies](#)
- [Utility Rates](#)

**Calculate**

- [Cost of Consumption](#)
- [Average Costs](#)
- [Proposed Allowances](#)
- [Compared Allowances](#)

**Export**

- [Utility Rates](#)
- [Cost of Consumption](#)
- [Average Costs](#)
- [Total Consumptions](#)
- [Proposed Allowances](#)
- [Compared Allowances](#)

**Low-Rent Study**

- [New](#)
- [Open/Edit](#)

**Section 8 Study**

- [New](#)
- [Open/Edit](#)

**Developments / AMPs**

**INSTRUCTIONS**

Use the Development Characteristics Chart and the Energy Customization Charts for reference.

- Click on tabs below in number order and answer questions. Don't **[SAVE]** until tabs 1 - 4 have been completed. **[SAVE]** will take you back to this screen.
- To **start** click on **[ADD DEVELOPMENT]** button below.
- After all development information has been input, click **[HOME]** and go to 2. Utility Companies.

**Details**

What is the development's name?

What is the development's extension number?

What is the development's building type?

What type of residents occupy the development?

Are water saving devices used?

Do the units have air conditioning?

How old is the development?

[Click here for HELP with building type descriptions.](#)

**Utilities**

What utility is used for space heating?

What utility is used for domestic hot water?

What utility is used for cooking stove?

Do the Residents pay for natural gas?

Do the Residents pay for electricity?

Do the Residents pay for water or sewer?

Do the Residents pay for trash pickup?

**Unit Details**

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
How many units?	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="1"/>	<input type="text" value="0"/>
Is there a pier beam foundation (Crawlspace)?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Are there double-pane or Low-E windows?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there an electric base board?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there a heat pump?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there a space heater in unconditioned space?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is there domestic hot water in unconditioned space?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Are there ducts in the attic?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>
Is this a 2-story unit?	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>	<input type="text" value="NO"/>

**Energy Improvements (Natural Gas) - [HIDE](#)**

**Space Heating**

- Gas Furnace (48k/94 AFUE)

**Water Heating**

- Gas Tank (0.62 EF)

- Gas Tankless (0.69 EF)
- Gas Tankless (0.80 EF)

**Insulation**

- Ceiling (R-30)
- Ceiling (R-38)
- Wall (R-13)

**Windows**

- Double Pane Vinyl

**Lighting**

- 100% CFL

**Energy Improvements (Electric) - SHOW**

Save Delete Reset

**End-Use Consumptions**

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Space Heating (Therms)	32	32	39	49	55	59	
Domestic Hot Water (Therms)	11	11	13	15	16	17	
Lights & Appliances (kWh)	168	168	209	256	300	346	
Cooking Stove (Therms)	5	5	7	7	8	9	
Water & Sewer (Gallons)	1550	3100	4650	7750	9300	12400	

**End-Use Consumption Calculations - SHOW**

**Adjusted Consumption Totals**

	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR	6 BR
Electricity (kWh)	168	168	209	256	300	346	
Natural Gas Winter (Therms)	47	47	58	70	78	83	
Natural Gas Summer (Therms)	16	16	20	22	24	26	

**Consumption Total Adjustment Calculations - SHOW**

**Select a Development / AMP**

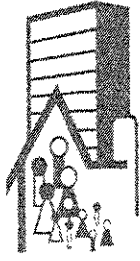
Available Developments:

Parkside and Westview IL-(EE Equip: H)

Add Development Edit Development



## **CURRENTLY ADOPTED UTILITY ALLOWANCES**



# Housing Authority of the City of Freeport

## RESOLUTION NO. 112023-01

### The Housing Authority of the City of Freeport Authorizing Approval of the 2024 Monthly Utility Allowance

Pursuant of a duly made, seconded, and unanimously adopted motion, of the Board of Commissioners of the Housing Authority of the City of Freeport (hereinafter referred to as HACF) adopts the following resolution:

**WHEREAS**, the Interim Executive Director, Rachel Greenwood, recommends approval of the Authority's 2024 proposed Monthly Utility Allowances; and

**WHEREAS**, The Housing Authority of the City of Freeport is required to update its monthly utility allowances annually; and

**WHEREAS**, the 2024 proposed utility allowance is calculated similar to the method used by each utility provider - by total usage for each utility type including the utility providers' monthly charges:

#### Building Type: Row House/Townhouse

Parkside and Westview (EE Equip: H)	0 BR	1 BR	2 BR	3 BR	4 BR	5 BR
Electricity (L&A)	\$58.00	\$58.00	\$69.00	\$82.00	\$93.00	\$105.00
Natural Gas (H,WH,C)	\$44.00	\$44.00	\$49.00	\$54.00	\$57.00	\$59.00
<b>Totals</b>	<b>\$102.00</b>	<b>\$102.00</b>	<b>\$118.00</b>	<b>\$136.00</b>	<b>\$150.00</b>	<b>\$164.00</b>

L&A= Lights & Appliances

H= Space Heating

WH= Water Heating

C= Cooking

**NOW, THEREFORE**, it is resolved that upon the Board of Commissioners approval, the Authority's proposed monthly utility allowance will go into effect on January 1, 2024.

**AND BE IT FURTHER RESOLVED** that the Interim Executive Director, Rachel Greenwood, or designee is authorized to enforce the monthly utility allowance.

The undersigned of HACF certifies that the above is a true, accurate, and correct copy of a resolution duly adopted at a meeting of the Board of Commissioner thereof, convened and

held in accordance with the law and Bylaws of HACF on 20th day of December 2023,  
and that such resolution is in full force and effect.

**ATTEST:**

Paulette Williams Thomas  
Paulette Williams Thomas, Chair  
HACF Board of Commissioners

12/20/23  
Date

Bernadette Mekalska  
Bernadette Mekalska  
Administrative Director and Board Secretary

12/20/2023  
Date

YEAS: 6

NAYS: 0

ABSTAIN: 0

PRESENT: 6

**LOCAL CLIMATOLOGICAL DATA  
ANNUAL CLIMATIC DATA SUMMARY**

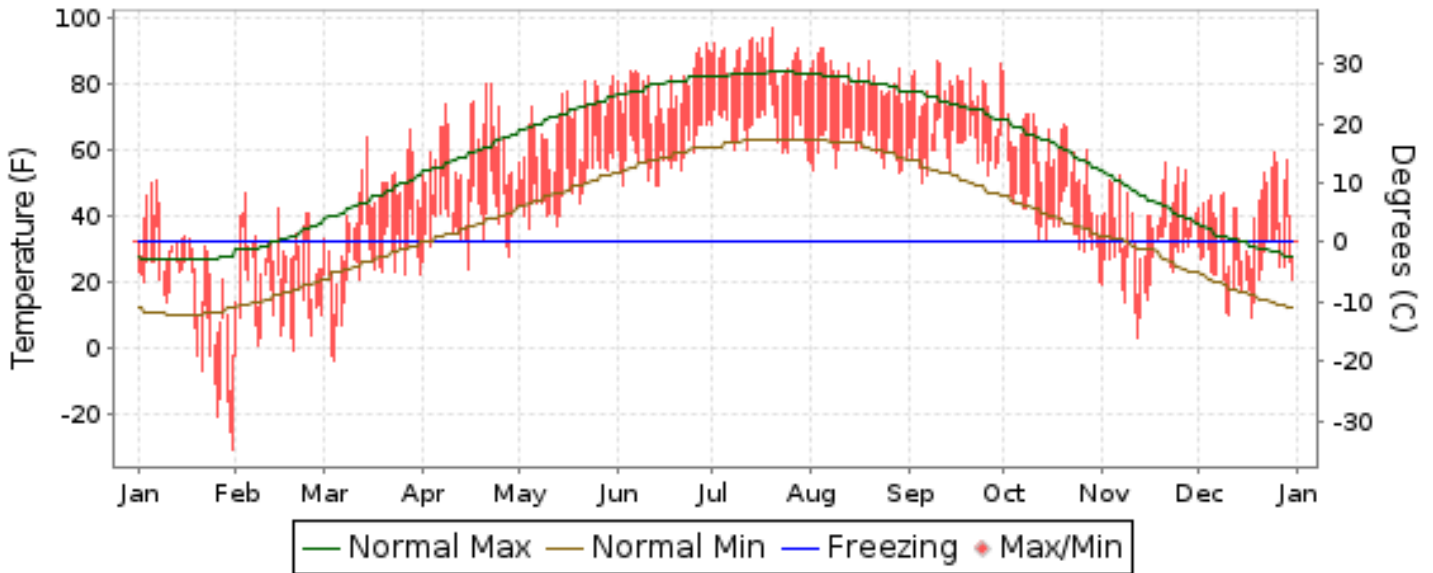


# 2019 LOCAL CLIMATOLOGICAL DATA ANNUAL SUMMARY WITH COMPARATIVE DATA

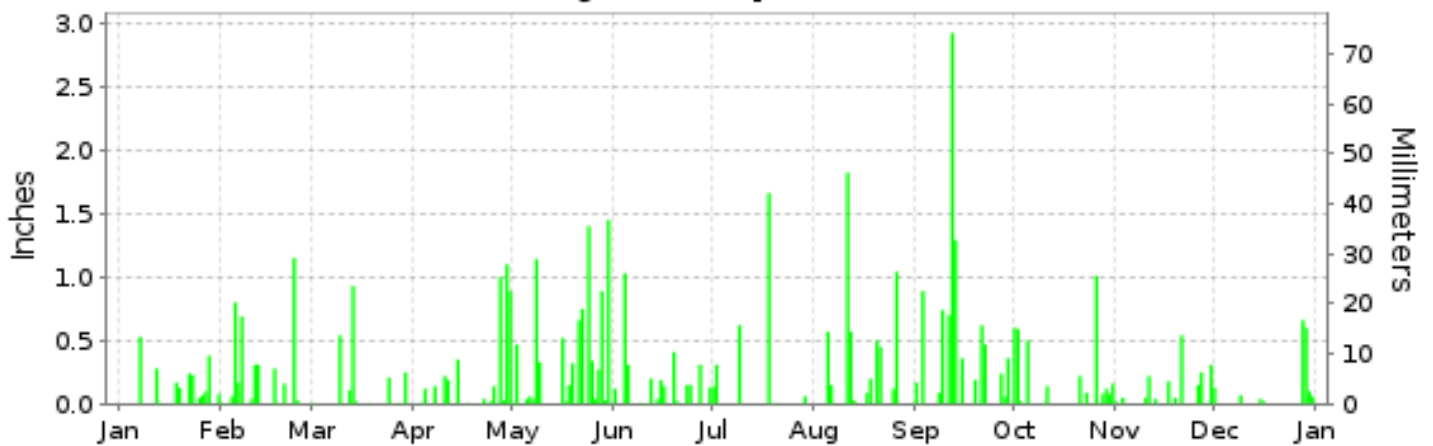
ISSN 0198-1900

## ROCKFORD, ILLINOIS (KRFD)

### Daily Max/Min Temperature



### Daily Precipitation



### Daily Station Pressure



I CERTIFY THAT THIS IS AN OFFICIAL PUBLICATION OF THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION, AND IS COMPILED FROM RECORDS ON FILE AT THE NATIONAL CLIMATIC DATA CENTER.

NATIONAL  
OCEANIC AND  
ATMOSPHERIC ADMINISTRATION

NATIONAL  
ENVIRONMENTAL SATELLITE, DATA  
AND INFORMATION SERVICE

NATIONAL CENTERS for  
ENVIRONMENTAL INFORMATION (NCEI)  
64 SHEVILLE, NORTH CAROLINA

*Mary S. Wohlgenant*  
DIRECTOR  
NCEI

# METEOROLOGICAL DATA FOR 2019

## ROCKFORD (KRFD)

LATITUDE: 42° 11'N      LONGITUDE: 89° 5'W      ELEVATION (FT): GRND: 730 BARO: 731      TIME ZONE: CENTRAL (UTC -6)      WBAN: 94822

ELEMENT		JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YEAR	
TEMPERATURE °F	MEAN DAILY MAXIMUM	25.4	29.8	42.8	59.7	68.3	79.7	87.9	82.0	76.8	59.3	41.0	41.2	57.8	
	HIGHEST DAILY MAXIMUM	51	47	66	80	82	92	97	91	87	84	56	59	97	
	DATE OF OCCURRENCE	07	04	28	22+	31	29	20	05+	10	01	21	25	JUL 20	
	MEAN DAILY MINIMUM	10.7	14.3	24.6	38.8	48.1	59.0	67.1	60.9	60.2	40.5	25.6	24.0	39.5	
	LOWEST DAILY MINIMUM	-31	-2	-4	24	36	49	57	53	50	20	3	9	-31	
	DATE OF OCCURRENCE	31	01	04	15	04	14+	31	29	05	31	12	18	JAN 31	
	AVERAGE DRY BULB	18.1	22.1	33.7	49.3	58.2	69.4	77.5	71.5	68.5	49.9	33.3	32.6	48.7	
	MEAN WET BULB	17.1	21.4	29.9	43.4	53.4	62.8	69.5	64.9	64.6		31.0	30.7		
	MEAN DEW POINT	12.4	17.0	22.6	36.5	49.1	58.7	65.5	61.1	62.2		26.6	26.6		
	NUMBER OF DAYS WITH:														
	MAXIMUM >= 90°	0	0	0	0	0	3	12	2	0	0	0	0	0	17
	MAXIMUM <= 32°	22	19	6	0	0	0	0	0	0	0	6	7	0	60
MINIMUM <= 32°	30	27	24	8	0	0	0	0	0	0	6	22	28	145	
MINIMUM <= 0°	9	2	2	0	0	0	0	0	0	0	0	0	0	13	
H/C	HEATING DEGREE DAYS	1449	1197	962	468	226	18	0	1	20	474	940	997	6752	
	COOLING DEGREE DAYS	0	0	0	2	23	156	395	207	132	12	0	0	927	
RH	MEAN (PERCENT)	76	78	65	66	73	72	70	73	82	75	77	78	74	
	HOUR 00 LST	77	79	73	73	81	82	82	86	89	85	82	84	81	
	HOUR 06 LST	79	81	79	78	83	84	86	91	93	86	84	84	84	
	HOUR 12 LST	72	75	56	57	65	60	57	56	73	63	68	69	64	
	HOUR 18 LST	75	76	56	58	62	62	56	61	75	70	73	77	67	
W/O	NUMBER OF DAYS WITH:														
	HEAVY FOG(VISBY <= 1/4 MI)	2	2	0	3	1	1	0	2	2	0	1	1	15	
	THUNDERSTORMS	0	2	3	5	10	9	8	6	12	1	1	0	57	
PR	MEAN STATION PRESS. (IN.)	29.32	29.29	29.34	29.15	29.14	29.15	29.21	29.20	29.24	29.17	29.28	29.21	29.23	
	MEAN SEA-LEVEL PRESS. (IN.)	30.16	30.13	30.16	29.96	29.94	29.93	29.99	29.99	30.03	29.99	30.10	30.06	30.04	
WINDS	RESULTANT SPEED (MPH)	2.0	1.9	3.0	0.6	1.0	0.6	1.3	0.6	2.5		1.7	3.8		
	RES. DIR. (TENS OF DEGS.)	29	29	27	09	11	08	22	27	18		25	23		
	MEAN SPEED (MPH)	9.8	10.5	10.2	10.6	8.2	7.7	7.3	6.1	7.8	9.1	8.3	8.9	8.7	
	PREVAIL.DIR.(TENS OF DEGS.)	28	27	29	07	06	07	19	27	17	20	19	18	18	
	MAXIMUM 2-MINUTE WIND														
	SPEED (MPH)	36	41	40	31	32	45	37	32	41	32	41	31	45	
	DIR. (TENS OF DEGS.)	29	26	18	02	10	01	36	29	18	21	29	26	01	
	DATE OF OCCURRENCE	08	24	14	19	22	30	20	18	03	22	27	30	JUN 30	
	MAXIMUM 3-SECOND WIND:														
	SPEED (MPH)	49	57	52	44	48	63	49	46	53	51	59	46	63	
DIR. (TENS OF DEGS.)	29	27	22	10	27	02	34	29	18	22	29	24	02		
DATE OF OCCURRENCE	08	24	14	11	19	30	20	18	03	22	27	30	JUN 30		
PRECIPITATION	WATER EQUIVALENT:														
	TOTAL (IN.)	2.27	4.03	2.09	4.26	8.93	3.21	2.80	5.55	9.10	3.63	1.87	1.68	49.42	
	GREATEST 24-HOUR (IN.)	0.53	1.18	1.04	1.13	1.47	1.34	1.66	1.82	2.92	1.02	0.54	0.90	2.92	
	DATE OF OCCURRENCE	07	23-24	12-13	28-29	08-09	04-05	18	11	12	26-27	21	28-29	SEP 12	
	NUMBER OF DAYS WITH:														
PRECIPITATION 0.01	12	14	9	14	20	14	6	12	14	14	12	8	149		
PRECIPITATION 0.10	8	8	5	9	13	11	4	9	12	8	6	4	97		
PRECIPITATION 1.00	0	1	0	2	3	1	1	2	2	1	0	0	13		
SNOWFALL	SNOW,ICE PELLETS,HAIL														
	TOTAL (IN.)	24.9	9.6	0.1	6.6	T	0.0	0.0	0.0	0.0	4.2	4.6	2.4	52.4	
	GREATEST 24-HOUR (IN.)	4.2	3.5	0.1	3.7	T	0.0	0.0	0.0	0.0	3.1	3.2	1.3	4.2	
	DATE OF OCCURRENCE	23	17	01	27	19					31	11	31	JAN 23	
	MAXIMUM SNOW DEPTH (IN.)	17	17	0	4	0	0	0	0	0	2	4	2	17	
	DATE OF OCCURRENCE	30+	01		28						31	14	31	FEB 01	
NUMBER OF DAYS WITH:															
SNOWFALL >= 1.0	9	4	0	2	0	0	0	0	0	1	1	1	18		

# NORMALS, MEANS, AND EXTREMES ROCKFORD (KRFD)

**LATITUDE:** 42° 11'N      **LONGITUDE:** 89° 5'W      **ELEVATION (FT):** GRND: 730 BARO: 731      **TIME ZONE:** CENTRAL (UTC -6)      **WBAN: 94822**

ELEMENT		POR	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	YEAR	
<b>TEMPERATURE °F</b>	NORMAL DAILY MAXIMUM	30	29.5	34.2	46.9	60.7	71.8	81.1	84.5	82.4	75.4	62.7	47.6	33.2	59.2	
	MEAN DAILY MAXIMUM	69	28.0	32.5	44.6	59.1	71.1	80.2	84.0	81.9	74.8	62.6	46.5	33.1	58.2	
	HIGHEST DAILY MAXIMUM	69	63	70	85	91	99	101	105	104	102	90	77	69	105	
	YEAR OF OCCURRENCE		2008	2017	1986	2002	2012	1988	2012	1988	1953	2010	2016	2012	JUL 2012	
	MEAN OF EXTREME MAXS.	69	48.0	51.4	69.4	80.8	87.5	92.6	93.8	92.4	89.5	81.7	66.8	53.1	75.6	
	NORMAL DAILY MINIMUM	30	13.5	17.7	27.5	38.1	48.4	58.5	63.0	61.3	52.4	40.7	30.3	17.7	39.1	
	MEAN DAILY MINIMUM	69	11.9	16.0	26.4	37.5	48.2	58.0	62.8	60.9	52.3	40.9	29.2	17.9	38.5	
	LOWEST DAILY MINIMUM	69	-31	-24	-11	5	24	37	43	41	27	15	-10	-24	-31	
	YEAR OF OCCURRENCE		2019	1996	2014	1982	1966	2003	1967	1986	1984	1952	1977	1983	JAN 2019	
	MEAN OF EXTREME MINS.	69	-11.2	-5.6	7.2	22.0	33.4	45.2	51.4	49.5	36.9	25.6	12.3	-4.2	21.9	
	NORMAL DRY BULB	30	21.5	25.9	37.2	49.4	60.1	69.8	73.8	71.9	63.9	51.7	38.9	25.4	49.1	
	MEAN DRY BULB	69	19.9	24.3	35.5	48.3	59.6	69.2	73.4	71.4	63.6	51.7	37.9	25.5	48.4	
	MEAN WET BULB	36	18.2	21.1	30.5	40.0	51.2	60.9	65.1	63.9	56.4	44.5	33.0	23.1	42.3	
	MEAN DEW POINT	36	17.6	20.5	29.5	38.8	50.0	59.8	64.4	63.3	55.5	43.4	32.4	22.4	41.5	
	NORMAL NO. DAYS WITH: MAXIMUM >= 90	30	0.0	0.0	0.0	0.0	0.6	3.4	5.7	4.0	1.1	0.1	0.0	0.0	14.9	
	MAXIMUM <= 32	30	17.3	10.7	3.0	0.1	0.0	0.0	0.0	0.0	0.0	0.0	2.3	12.6	46.0	
MINIMUM <= 32	30	29.0	25.0	21.8	7.5	0.5	0.0	0.0	0.0	0.3	5.1	16.8	27.4	133.4		
MINIMUM <= 0	30	5.5	2.9	0.2	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	2.9	11.5		
<b>H/C</b>	NORMAL HEATING DEG. DAYS	30	1348	1093	862	476	198	31	3	11	117	422	782	1226	6569	
	NORMAL COOLING DEG. DAYS	30	0	0	0	8	47	175	274	223	84	9	0	0	820	
<b>RH</b>	NORMAL (PERCENT)		78	76	71	66	66	68	72	76	74	72	77	80	73	
	hour 00 LST	30	81	81	78	74	76	79	84	88	86	82	81	82	81	
	hour 06 LST	30	82	83	83	80	81	82	87	91	91	87	84	84	85	
	hour 12 LST	30	72	68	62	55	54	55	58	60	57	57	67	73	62	
	hour 18 LST	30	77	73	65	55	55	56	60	64	65	65	73	78	66	
<b>S</b>	PERCENT POSSIBLE SUNSHINE															
<b>W/O</b>	MEAN NO. DAYS WITH: HEAVY FOG(VISBY <= 1/4 MI)	56	2.3	2.2	2.3	0.9	0.9	0.6	1.0	1.6	1.5	1.4	1.9	3.0	19.6	
	THUNDERSTORMS	64	0.2	0.5	2.1	4.1	6.0	8.1	7.5	6.5	4.6	2.3	1.1	0.3	43.3	
<b>CLOUDINESS</b>	MEAN: SUNRISE-SUNSET (OKTAS)															
	MIDNIGHT-MIDNIGHT (OKTAS)															
	MEAN NO. DAYS WITH: CLEAR															
	PARTLY CLOUDY CLOUDY															
<b>PR</b>	MEAN STATION PRESSURE(IN)	36	29.27	29.28	29.20	29.17	29.17	29.17	29.21	29.21	29.26	29.24	29.26	29.27	29.23	
	MEAN SEA-LEVEL PRES. (IN)	36	30.13	30.11	30.07	29.97	29.97	29.95	29.99	30.02	30.05	30.05	30.07	30.10	30.04	
<b>WINDS</b>	MEAN SPEED (MPH)	36	10.0	10.1	10.7	11.1	9.6	8.2	7.3	6.8	7.5	9.0	10.0	9.7	9.2	
	PREVAIL.DIR(TENS OF DEGS)	45	31	31	31	07	19	19	19	19	19	19	19	19	19	
	MAXIMUM 2-MINUTE: SPEED (MPH)	24	40	49	44	47	45	55	52	57	46	44	45	39	57	
	DIR. (TENS OF DEGS)		29	22	30	23	27	31	02	29	30	23	24	29	29	
	YEAR OF OCCURRENCE		2014	1999	2004	1997	2011	2011	2015	1998	2011	2010	1998	2004	AUG 1998	
	MAXIMUM 3-SECOND SPEED (MPH)	24	52	68	67	64	63	69	66	74	58	61	59	56	74	
	DIR. (TENS OF DEGS)		28	22	19	26	19	31	33	28	30	34	29	26	28	
YEAR OF OCCURRENCE		2017	1999	2009	1997	2008	2011	2015	1998	2011	2018	2019	2017	AUG 1998		
<b>PRECIPITATION</b>	NORMAL (IN)	30	1.37	1.41	2.32	3.35	4.02	4.65	3.95	4.59	3.35	2.67	2.58	1.98	36.24	
	MAXIMUM MONTHLY (IN)	69	4.66	4.03	5.82	9.92	11.75	14.23	11.81	13.98	10.68	8.32	5.55	5.04	14.23	
	YEAR OF OCCURRENCE		1960	2019	2009	1973	1996	2018	1952	2007	1961	1969	2015	1971	JUN 2018	
	MINIMUM MONTHLY (IN)	69	0.18	0.04	.43	0.99	0.48	0.46	0.75	0.48	0.05	0.01	0.38	0.37	0.01	
	YEAR OF OCCURRENCE		1961	1969	2005	1989	1992	1988	2001	2003	1979	1952	1976	1976	OCT 1952	
	MAXIMUM IN 24 HOURS (IN)	69	2.89	1.73	2.50	5.55	4.77	6.07	5.32	6.42	5.56	5.22	3.20	2.50	6.42	
	YEAR OF OCCURRENCE		1960	1966	1976	1973	1996	2002	2010	1987	1961	1954	1961	2003	AUG 1987	
	NORMAL NO. DAYS WITH: PRECIPITATION >= 0.01	30	9.4	8.2	10.5	11.3	12.2	10.4	9.4	9.7	8.3	9.4	10.2	10.2	119.2	
PRECIPITATION >= 1.00	30	0.1	0.2	0.5	0.8	1.2	1.3	0.9	1.2	0.8	0.5	0.5	0.2	8.2		
<b>SNOWFALL</b>	NORMAL (IN)	30	10.2	7.7	4.8	0.9	0.0	0.0	0.0	0.0	0.0	0.1	1.7	11.3	36.7	
	MAXIMUM MONTHLY (IN)	67	26.1	30.2	22.7	7.7	1.0	T	T	T	T	4.2	15.8	30.1	30.2	
	YEAR OF OCCURRENCE		1979	1994	1964	1982	1966	1996	1996	2008	2014	2016	2019	2018	2000	FEB 1994
	MAXIMUM IN 24 HOURS (IN)	67	9.9	10.9	10.4	6.7	0.2	T	T	T	T	3.1	11.7	11.4	11.7	
	YEAR OF OCCURRENCE		1979	2011	1972	1970	1990	1996	1994	2014	2016	2019	2018	1987	NOV 2018	
	MAXIMUM SNOW DEPTH (IN)	57	17	19	15	4	0	0	0	0	0	2	11	13	19	
	YEAR OF OCCURRENCE		2019	2011	2013	2019						2019	2018	2008	FEB 2011	
NORMAL NO. DAYS WITH: SNOWFALL >= 1.0	30	3.3	2.3	1.5	0.3	0.0	0.0	0.0	0.0	0.0	0.0	0.5	3.1	11.0		